



CITY OF ST. PETERSBURG, FLORIDA
PLANNING & DEVELOPMENT SERVICES DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION

STAFF REPORT
DEVELOPMENT REVIEW COMMISSION - VARIANCE REQUEST
PUBLIC HEARING

According to Planning & Development Services Department records, no **Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

REPORT TO THE DEVELOPMENT REVIEW COMMISSION FROM DEVELOPMENT REVIEW SERVICES DIVISION, PLANNING & DEVELOPMENT SERVICES DEPARTMENT, for Public Hearing and Executive Action on **Wednesday, December 2, 2020 at 10:00 A.M.** at Council Chambers, City Hall, located at 175 5th Street North, St. Petersburg, Florida. Procedures will be implemented to comply with the CDC guidelines during the Public Hearing, including mandatory face coverings and social distancing with limitations on the number of attendees within Council Chambers. The City's Planning and Development Services Department requests that you visit the City website at www.stpete.org/meetings for up-to-date information.

CASE NO.: 19-54000033 PLAT SHEET: K-15

REQUEST: Approval of variances to the NS-1 zoning district required minimum lot width from 75-feet to 50-feet and lot area from 5,800 square-feet to 5,300 square-feet for two (2) non-conforming lots in common ownership, and to the required side yard setbacks from 7.5-feet to 6-feet to allow for the construction of a new single-family residence.

OWNER: Earl Presley Jr.
3759 29th Avenue South
Saint Petersburg, Florida 33711

ADDRESS: 3759 29th Avenue South

PARCEL ID NO.: 34-31-16-05526-008-0200

LEGAL DESCRIPTION: On File

ZONING: Neighborhood Suburban Single-Family-1 (NS-1)

Structure	Required	Requested	Variance	Magnitude
Accessory Living Area and Attached Garage				
Lot Area	5,800sqft	5,300sqft	500sqft	.086 or 8%
Lot Width	75-feet	50-feet	25-feet	.333 or 33%
Side Yard Setback	7.5-feet	6-feet	1.5-feet	.20 or 20%

BACKGROUND:

The subject property, located at 3759 29th Avenue South, consists of two platted lots of record (Lots 19 and 20, Block 8, Bayview Terrace) under common ownership, located within the boundaries of the Perry Bayview Neighborhood Association. The lots were previously developed with one single-family residence that was constructed in 1954 and demolished in 2011. Both lots are currently vacant.

The property has a zoning designation of Neighborhood Suburban, Single-Family (NS-1). The minimum lot width in NS-1 districts is 75-feet and the minimum lot area is 5,800 square feet. Subject Lots 19 and 20 each have a platted lot width of 50-feet and have 5,300 square foot lot areas. Therefore, they are considered to be substandard in both lot area and lot width. The subject subdivision, Bayview Terrace, was recorded in 1924.

The minimum interior side yard setback for NS-1 zoned properties is 7.5-feet. This application requests an interior side yard setback reduction from 7.5-feet to 6-feet to accommodate a new residence at a same scale as the existing home on Lot 20. The construction plans provided for the request demonstrate compliance with both the front and rear yard setbacks for the home and has placed ancillary equipment in the rear, thus eliminating the need for addition variances.

The property is located within the South St. Petersburg Community Redevelopment Area (CRA). The South St. Petersburg CRA was first established in June 2013 when City Council approved Res. 2013-247 finding blight in South St. Petersburg pursuant to Florida's Community Redevelopment Act of 1969 (Chapter 163, Part III). The most recent version of the redevelopment plan was adopted by City Council in May of 2015. The plan calls for revitalizing South St. Petersburg by promoting reinvestment in housing and neighborhoods, commercial corridors, business development, education and workforce development and non-profit capacity building. One specific focus of the plan is reinvigorating the housing market through rehabilitation and new construction. The plan identifies housing as potentially the most important issue facing South St. Petersburg. According to the plan, "The community redevelopment area is faced with problems related to housing condition and age, supply and marketability, and affordability that drag on efforts to improve the quality of life and investment conditions in the CRA" (South St. Petersburg Community Redevelopment Plan, pg 24).

Restrictions in the City Code were in place from 1973 through 2003 limiting development on nonconforming lots in common ownership. The land development code was changed in 2003 allowing development on any platted lot of record. On September 17, 2015, City Council amended the non-conforming lot regulations, eliminating the right to build on these substandard lots without first obtaining a variance. During the review of these regulations in 2015 the City Council made the decision to change the land development regulations back to restrict development on substandard lots, while also making clear the intent of the variance review is to determine whether such development would be consistent with the surrounding neighborhood pattern. Council found that in some neighborhoods, development of substandard lots would not be consistent with the surrounding development pattern and allowing one home on one platted lot in an area that has

historically developed one single-family unit on more than one platted lot could be detrimental to the neighbors and overall character of the neighborhood.

CONSISTENCY REVIEW COMMENTS: The Planning & Development Services Department staff reviewed this application in the context of the following criteria excerpted from the City Code and found that the requested variance is **consistent** with these standards. Per City Code Section 16.70.040.1.6 Variances, Generally, the DRC's decision shall be guided by the following factors:

1. *Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:*

a. *Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site.*

Approval of the request would allow for the redevelopment of a vacant parcel located in the South St. Petersburg Community Redevelopment Area.

b. *Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district.*

The subject property consists of two lots platted in 1924 that are substandard to the current NS-1 zoning district minimum lot width and lot area requirements.

c. *Preservation district. If the site contains a designated preservation district.*

The subject property is not located in a preservation district.

d. *Historic Resources. If the site contains historical significance.*

This criterion does not apply.

e. *Significant vegetation or natural features. If the site contains significant vegetation or other natural features.*

The subject property is a vacant lot with no significant vegetation or other contributing natural features present.

f. *Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.*

Staff analyzed the development pattern of the subject block and the adjacent blocks located within the same subdivision, see attached Development Pattern Analysis and study area tables below. The blocks included in the study area consist of 5 blocks platted within the Bayview Terrace Subdivision which was recorded in 1924.

Staff's development pattern analysis included review of lot area and lot width for conformance with the minimum requirements for NS-1 properties, and whether the properties typically contain one house per platted lot. The results of the analysis, provided in the tables below, show that 69% of the properties are substandard in terms of both lot area and lot width. Staff found that 56% of the properties in the study area consist of one house per platted lot. Based on the analysis, staff finds that the proposal is consistent with the prevailing development pattern in the area.

Lot Width Analysis				
Block	Location	Conforming Width	Substandard Width	% Substandard
Subject Block		7	8	53.33%
Block 2	South	8	8	50.00%
Block 3	Southwest	4	3	42.86%
Block 4	West	1	6	85.71%
Block 5	North	4	16	80.00%
Average		24	41	63.08%

Lot Area Analysis				
Block	Location	Conforming Area	Substandard Area	% Substandard
Subject Block		7	8	53.33%
Block 2	South	8	8	50.00%
Block 3	Southwest	4	3	42.86%
Block 4	West	1	6	85.71%
Block 5	North	4	16	80.00%
Average		24	41	63.08%

1 House per Platted Lot Analysis					
Block	Location	Vacant Lot	1 House on Lot	More than 1 Lot per house	% 1 House per Platted Lot
Subject Block		0	8	7	53.33%
Block 2	South	1	7	8	43.75%
Block 3	Southwest	3	2	3	25.00%
Block 4	West	3	5	1	55.56%
Block 5	North	1	15	4	75.00%
Total		8	37	23	
Average		11.76%	54.41%	33.82%	54.41%

- g. *Public Facilities.* If the proposed project involves the development of public parks, public facilities, schools, public utilities or hospitals.

This criterion is not applicable.

2. *The special conditions existing are not the result of the actions of the applicant;*

The lots within the Bayview Terrace Subdivision were platted in 1924. As shown in the analysis provided above within criterion 1.f, 63% of the properties analyzed are substandard in lot area and lot width with 54% being developed with one house per platted lot. This development pattern is not the result of any action of the applicant. However, the variance to the interior side yard setback is the result of application.

3. *Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;*

Without approval of the requested variance the property can be redeveloped with one single-family residence. However, the applicant is proposing to develop a new single-family residence on each platted lot. Denial of the variance would be a hardship as it would not allow development of new single-family residences on platted lots of record when 63% of the surrounding properties are substandard in terms of lot width and area.

4. *Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;*

A majority of the properties within the surrounding blocks have been developed with one house on one platted lot of record and therefore the requested variance would allow a more consistent use of the land.

5. *The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;*

The requested variances are the minimum necessary to allow the development of a new single-family home on a lot with a similar size to the surrounding lots with single-family homes. The lot area variance from 5,800 square feet to 5,300 square feet constitutes an 8.6% reduction and the lot width variance from 75-feet to 50-feet constitutes a 33% reduction. The setback variance from 7.5-feet to 6-feet equates to 20%.

6. *The granting of the variance will be in harmony with the general purpose and intent of this chapter;*

The request is consistent with the goals of the Comprehensive Plan and the Land Development Regulations to promote revitalization and redevelopment. The Land Development Regulations for the Neighborhood Suburban (NS) districts state: "The regulations of the NS districts protect the single-family character of these neighborhoods, while permitting rehabilitation, improvement and redevelopment in keeping with the scale of the neighborhood.

Created in 2013, the Community Redevelopment Area is a program established to encourage the rehabilitation and redevelopment of the South St. Petersburg housing market. This application will contribute to the desired redevelopment of the area by providing new housing on land that is currently vacant.

Moreover, the Future Land Use designation in this neighborhood is Residential Urban (RU). The following objective and policies promote redevelopment and infill development in our City:

OBJECTIVE LU2:

The Future Land Use Element shall facilitate a compact urban development pattern that provides opportunities to more efficiently use and develop infrastructure, land and other resources and services by concentrating more intensive growth in activity centers and other appropriate areas.

POLICY LU2.5 The Land Use Plan shall make the maximum use of available public facilities and minimize the need for new facilities by directing new development to infill and redevelopment locations where excess capacity is available.

POLICY LU3.6 Land use planning decisions shall weigh heavily the established character of predominately developed areas where changes of use or intensity of development are contemplated.

7. *The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare; and,*

The granting of the variance will not be injurious to neighboring properties as they are developed in a similar pattern as the proposed lots. The proposal for two single-family homes with one home on each platted lot is consistent with the neighborhood pattern of the surrounding blocks which are zoned NS-1.

8. *The reasons set forth in the application justify the granting of a variance;*

Staff finds that the reasons set forth in the variance application do justify the granting of the variance based on the analysis provided and the recommended special conditions of approval.

9. *No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.*

This criterion does not apply.

PUBLIC COMMENTS: The subject property is within the boundaries of the Perry Bayview Neighborhood Association. No public comments have been received regarding this application.

STAFF RECOMMENDATION: Based on a review of the application according to the stringent evaluation criteria contained within the City Code, the Planning and Development Services Department Staff recommends **APPROVAL** of the requested variance.

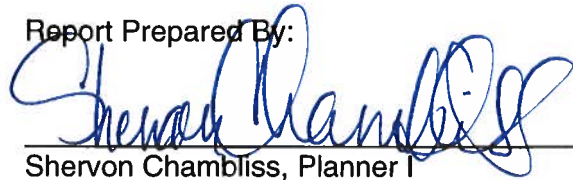
CONDITIONS OF APPROVAL: If the variance is approved consistent with the site plan submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following:

1. The plans and elevations submitted for permitting should substantially resemble the plans and elevations submitted with this application.
2. New single-family construction shall comply with the regulations of the NS-1 zoning district and other applicable sections of the code at the time of permitting.

2. Unless granted a variance, new single-family construction shall comply with the regulations of the NS-1 zoning district and other applicable sections of the code at the time of permitting.
3. This variance approval shall be valid through December 2, 2023. Substantial construction shall commence prior to this expiration date, or Lot 19 shall be conveyed into separate ownership. A request for an extension must be filed in writing prior to the expiration date.
4. Approval of these variances does not grant or imply other variances from the City Code or other applicable regulations.

ATTACHMENTS: Map, plat, site plan, floor plan, elevation drawings, photographs, applicant's narrative, codes compliance report, property card, building permit history, average lot size table

Report Prepared By:



Shervon Chambliss, Planner I
Development Review Services Division
Planning & Development Services Department

11.23.2020

Date

Report Approved By:



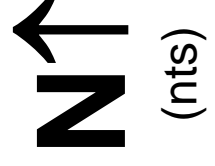
Jennifer Bryla, ACIP, Zoning Official (POD)
Development Review Services Division
Planning & Development Services Department

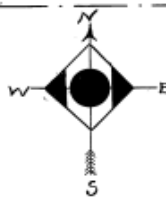
11.23.2020

Date



Project Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 19-54000033
Address: 3759 29th Avenue South





BAYVIEW TERRACE

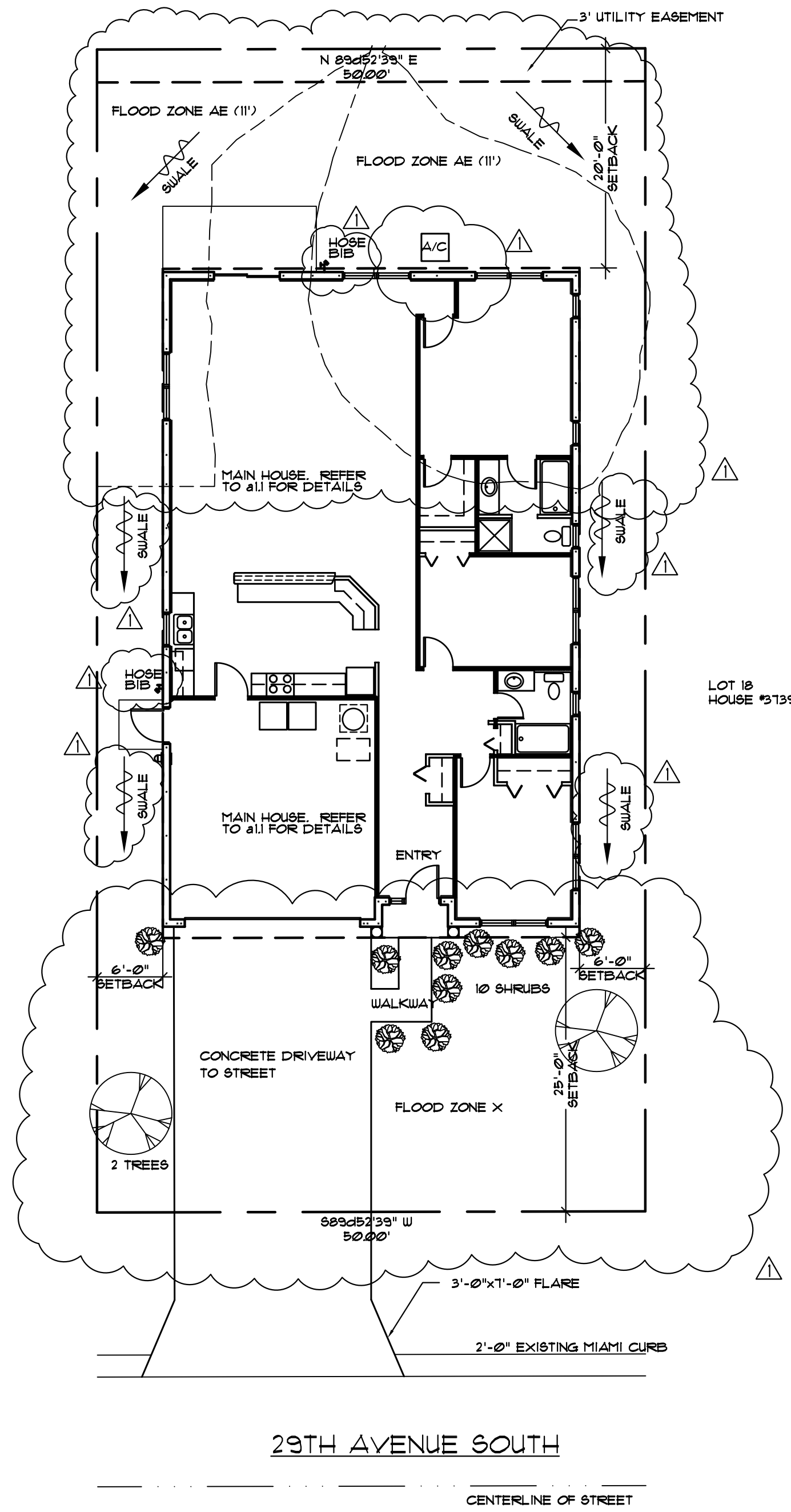
BEING A SUBDIVISION
 OF
 THE SW $\frac{1}{4}$ OF THE NE $\frac{1}{4}$ $\frac{3}{4}$ THE EAST 480 FT. OF THE NORTH 300 FT.
 OF THE NW $\frac{1}{4}$ OF THE SE $\frac{1}{4}$ ALL IN SECTION 34 TWP 31 RANGE 16 EAST.
 PINELLAS COUNTY, FLORIDA.
 Sept. 1924. Scale 1"=100'

as above described.

Marguerite Stuenkel, Rogers & Thomas Inc.
Witness by [Signature]
President
UR Beck by [Signature]
Secretary

I hereby certify that I surveyed the above described tract and that the dimensions angles and distances are correct and lie entirely within the boundaries of said tract.





SITE PLAN

SCALE: 1"=10'-0"

SITE WILL COMPLY WITH
IRRIGATION
REQUIREMENTS OF
SECTION 16.306-4b.4

Site Plan

Project No. 2008-80R	File Name: PRESLEY-spl.dwg
Rev. 1 NOV. 28, 2005	Revisions
	02-01-2006

PRESLEY RESIDENCE

New Construction
29th Avenue South
St. Petersburg,
Florida

rchitectonics

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email: jacks@tampabayrr.com http://architectonicsstudio.com

sp1.1

MICHAEL ARRIGO
L.C. NO. AR02011335

ENERGY CRITERIA MIN. REQUIREMENTS

BASED ON FORM 600-B-04 PACKAGE B
MAX. PERCENT OF GLASS TO FLOOR AREA: 15%
GLASS TYPE: SINGLE TINT
OVERHANG: 1'-4"
EXTERIOR, ADJACENT MASONRY WALLS: R-5
COMMON MASONRY WALLS: R-3 EACH SIDE
CEILING UNDER ATTIC: R-30 (NO SINGLE ASSEMBLY CEILINGS ALLOWED)

BATHROOM GROUP (2 BATHROOMS/3.6 UNITS) *12
LAUNDRY GROUP (1 WASHER/1.4 UNITS) *14
KITCHEN GROUP (1 SINK/1.4 UNITS) *14
TOTAL UNITS * 10 = 14.6 GPM
10 FT/SEC. MAX. VELOCITY
VELOCITY * 8 FT/SEC
10 PSI PRESSURE DROP
1" MIN. WATER MAIN/WATER METER

THE FOLLOWING CONDITIONS REQUIRE TEMPERED GLAZING:

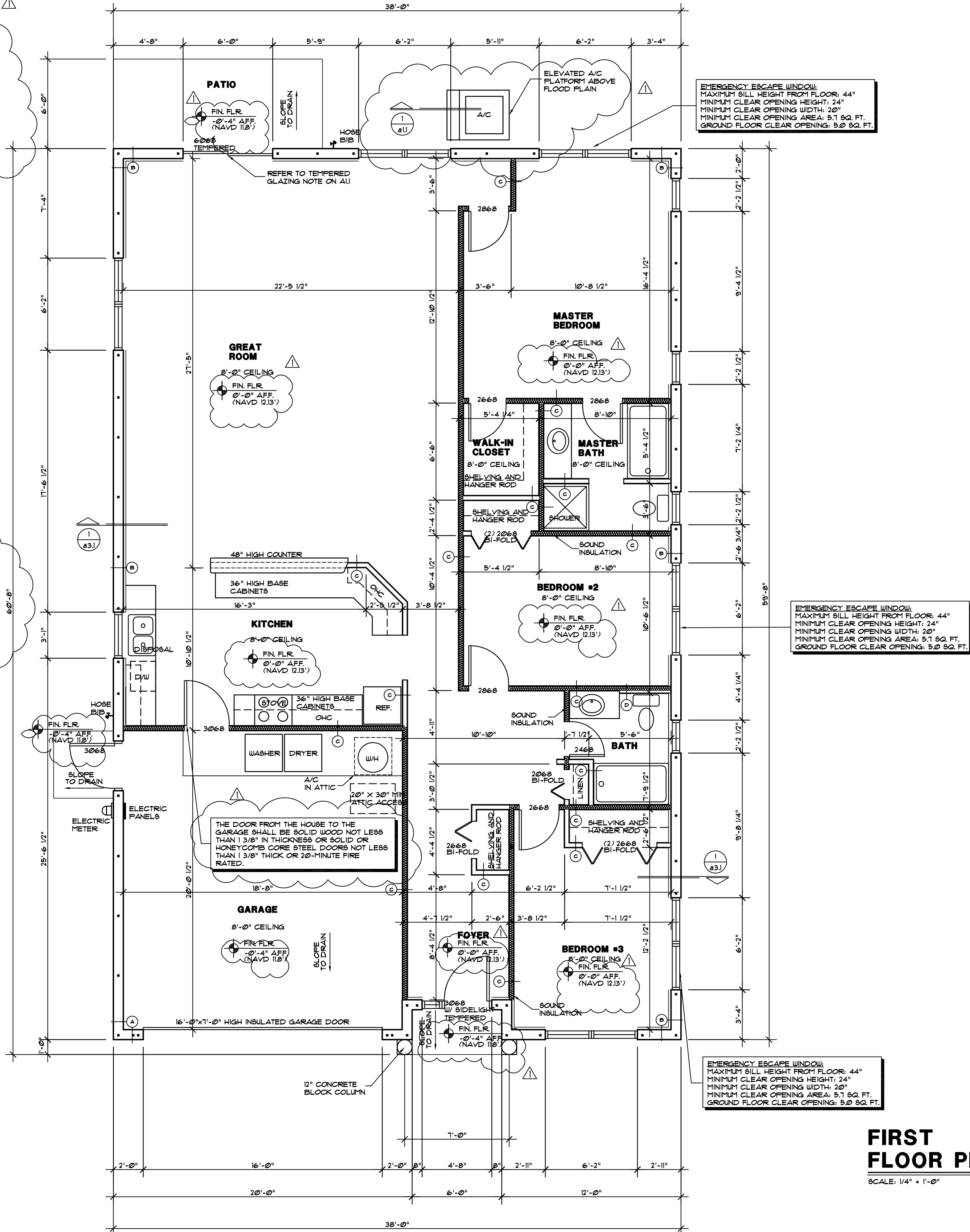
- GLAZING IN SLIDING DOORS AND FIXED AND SLIDING PANELS OF SLIDING (PATIO) DOOR ASSEMBLIES.
- GLAZING IN DOORS AND WALLS OF ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND OTHER SUCH FACILITIES WHERE SUCH GLAZING IS LOCATED 36" OR LESS MEASURED HORIZONTALLY FROM A STANDING OR WALKING SURFACE WITHIN THE ENCLOSURE AND WHERE THE BOTTOM EDGE OF THE EXPOSED GLAZING IS LESS THAN 60" MEASURED VERTICALLY, ABOVE SUCH STANDING OR WALKING SURFACES.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" RADIUS OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.

2 x 12 P.T. WOOD TREAD (TYP.)
1 x P.T. WOOD RISER (TYP.)
2x2 P.T. WOOD CLEAT AT EACH TREAD (BOTH SIDES)
2 x 12 P.T. WOOD STRINGER (TYP.)

WOOD STAIRS PROVIDE 1 3/4" MAX. RISERS AND 10" MIN. TREADS. THE SUM OF 2 RISERS AND 1 TREAD SHALL BE BETWEEN 24"-25".

STAIR SECTION

SCALE: 3/4" = 1'-0"

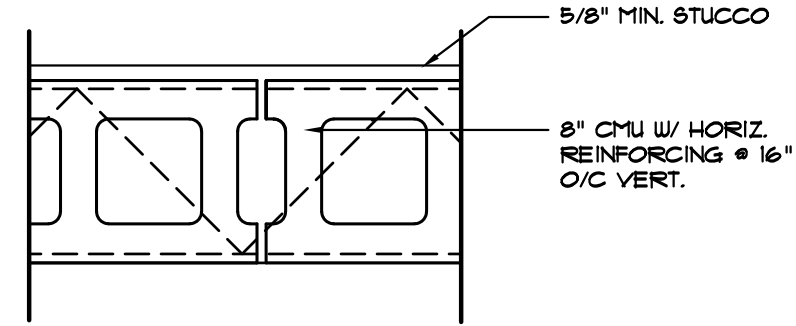


FIRST FLOOR PLAN

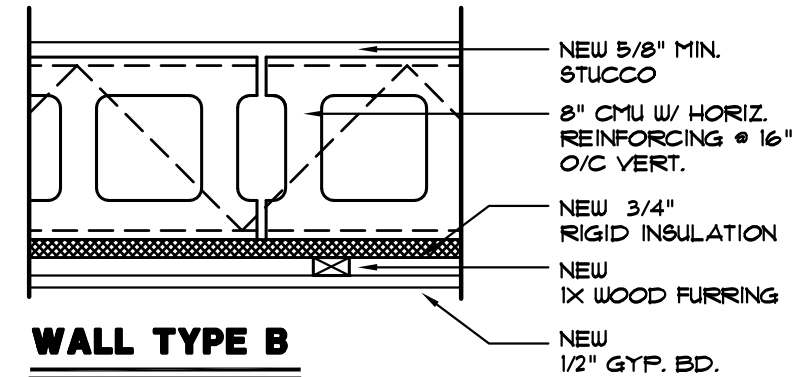
SCALE: 1/4" = 1'-0"

WALL TYPES:

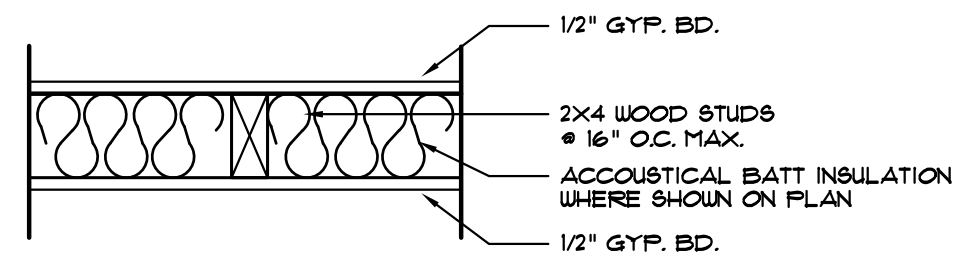
SCALE: 1 1/2" = 1'-0"
NOTES:
1. PROVIDE WATER RESISTANT BACKER BOARD IN LIEU OF GYPSUM BOARD AT ALL CERAMIC TILE WALLS.
2. THE EXTERIOR OF THE BUILDING SHALL BE SEALED CONTINUOUS FROM WATER INTRUSION. ALL PENETRATIONS SHALL BE SEALED FROM MOISTURE AND AIR INFILTRATION.



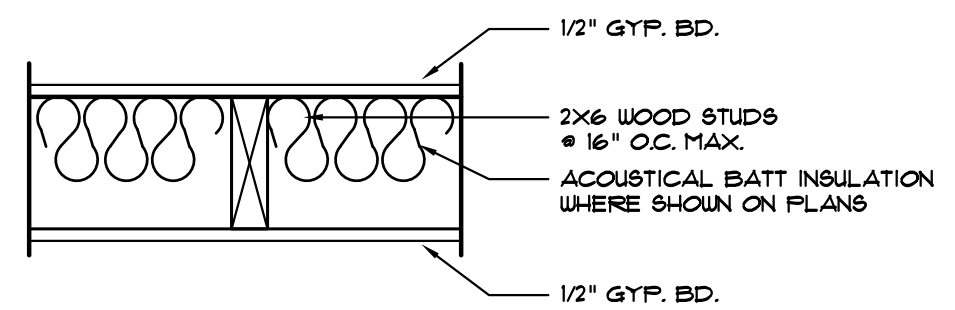
WALL TYPE A



WALL TYPE B



WALL TYPE C



WALL TYPE D

LEGEND:

- (A) WALL TYPES
- (15) GENERAL CONSTRUCTION NOTE
- (2) SECTION DETAIL
- (1) PLAN DETAIL
- (2) ELEVATION SYMBOL

BUILDING DATA

THE NEW HOME SHALL CONFORM TO THE FOLLOWING APPLICABLE CODES:
2004 FLORIDA BUILDING CODE
2004 FLORIDA MECHANICAL CODE
2004 FLORIDA PLUMBING CODE
2004 FLORIDA FUEL GAS CODE
NATIONAL ELECTRIC CODE LATEST EDITION (NFPA 70)
FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 2004 FBC - NOTE- ENERGY CODE CALC5
DESIGN LOADS PER STRUCTURAL DRAWINGS
BUILDING OCCUPANCY: R-3
CONSTRUCTION TYPE: TYPE V
UNPROTECTED, UNSPRINKLERED

GENERAL NOTES:

- CONCRETE TILE BACKER ON ALL SHOWER AND TUB WALLS.
- VERIFY WINDOW OPENING DIMENSIONS W/ MANUFACTURER SIZES.
- DOOR AND WINDOW OPENINGS THAT READ 3060, 20X40, ETC. ARE 3'-0"x8'-0", 2'-0"x4'-0", ETC.
- COORDINATE ALL APPLIANCE AND PLUMBING FIXTURE OPENINGS WITH CABINETRY.
- DIMENSIONS SHOWN ON PLANS ARE FROM FACE OF STUDS AND FACE OF MASONRY UNLESS SHOWN OTHERWISE. EXTERIOR WALL DIMENSIONS ARE FROM FACE OF STUD.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.

AREA BREAKDOWN:

NEW FIRST FLOOR LIVING: 1,854 SQ. FT.
NEW GARAGE: 410 SQ. FT.
NEW FIRST FLOOR PORCHES: 49 SQ. FT.

rchitectonics Studio

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Tel: 727-323-5676 Fax: 727-323-5626
email: jacti@tampabay.rr.com http://architectonicsstudio.com

PRESLEY RESIDENCE

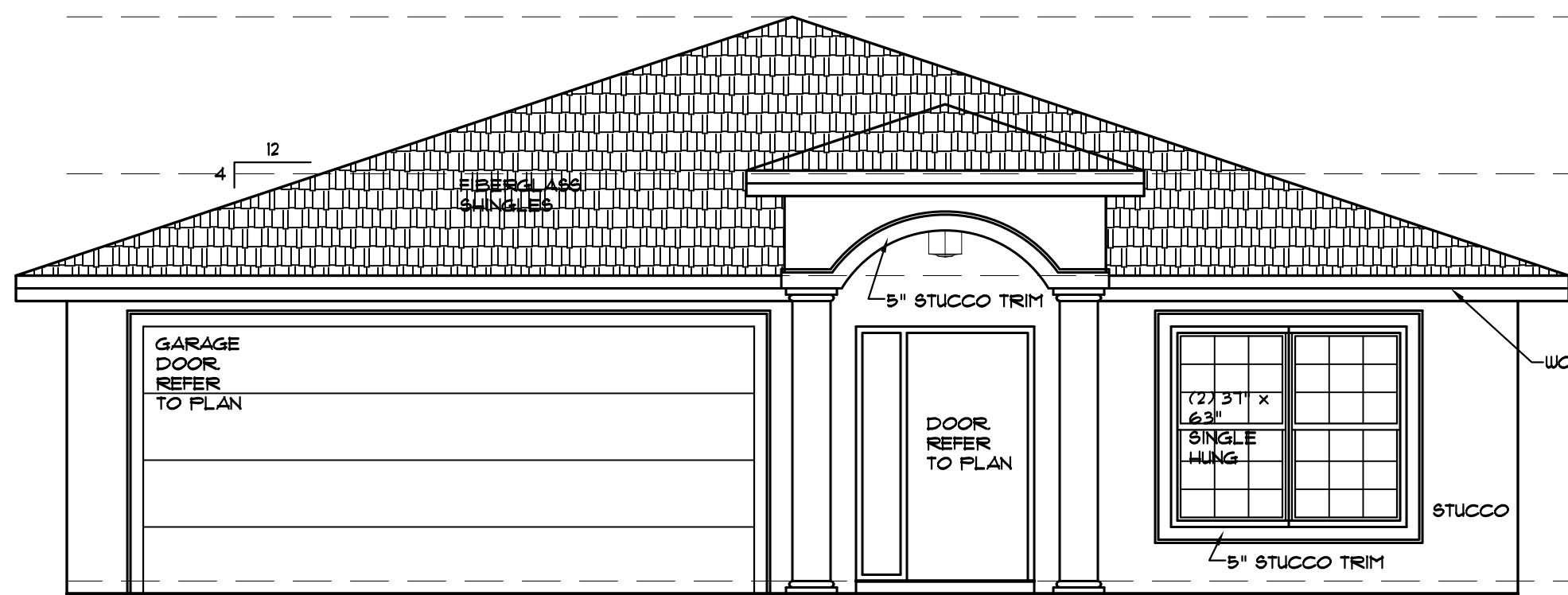
New Construction
29th Avenue South
St. Petersburg, Florida

Floor Plan

File Name: PRESLEY-att.dwg
Project No. 2006-80R
Revision: 1
Date: NOV. 28, 2005

MICHAEL ARRIGO
LIC. NO. AR0201335

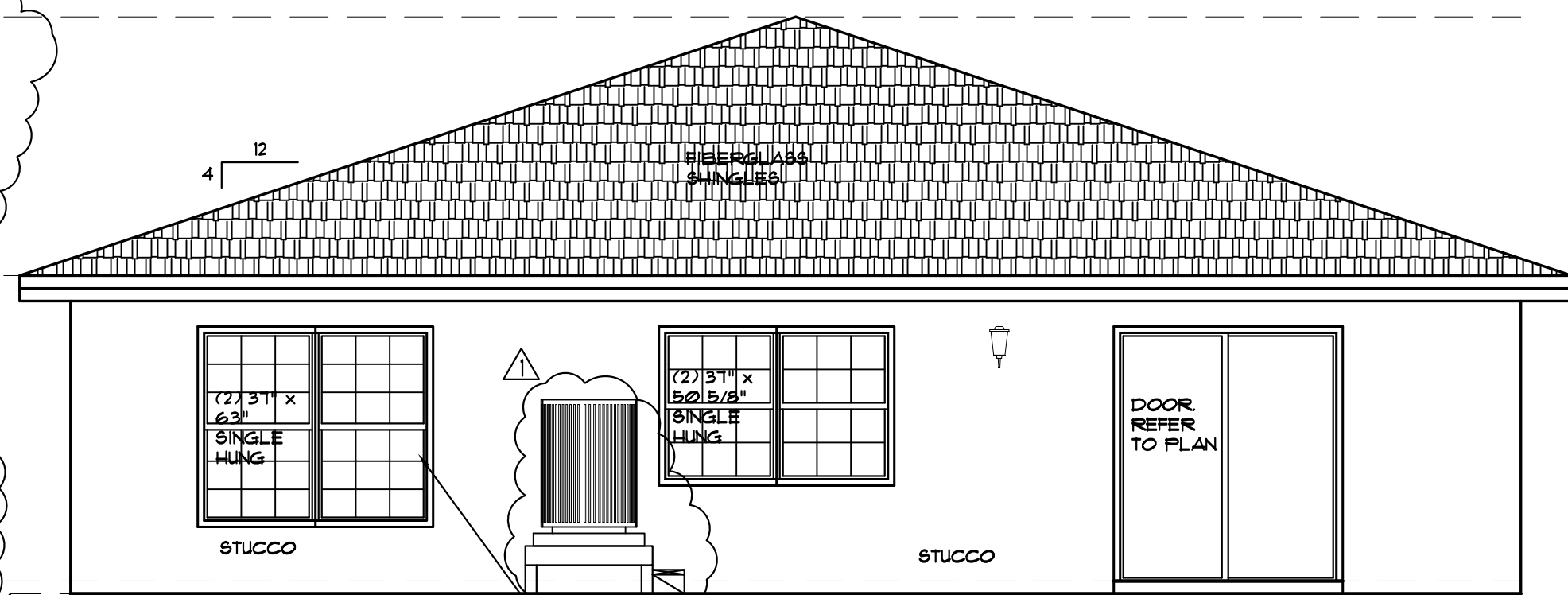
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CONTRACTOR SHALL INSTALL ANCHORS AROUND ALL EXTERIOR DOORS AND WINDOWS FOR INSTALLATION OF MINIMUM 1/2" CDX EXT. GRADE PLYWOOD HURRICANE PANELS TO BE PROVIDED AND STORED ON SITE. SEE FASTENING SCHEDULE THIS SHEET

FRONT ELEVATION

SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL INSTALL ANCHORS AROUND ALL EXTERIOR DOORS AND WINDOWS FOR INSTALLATION OF MINIMUM 1/2" CDX EXT. GRADE PLYWOOD HURRICANE PANELS TO BE PROVIDED AND STORED ON SITE. SEE FASTENING SCHEDULE THIS SHEET

EMERGENCY ESCAPE WINDOW:
MAXIMUM SILL HEIGHT FROM FLOOR: 44"
MINIMUM CLEAR OPENING HEIGHT: 24"
MINIMUM CLEAR OPENING WIDTH: 20"
MINIMUM CLEAR OPENING AREA: 5.1 SQ. FT.
GROUND FLOOR CLEAR OPENING: 5.0 SQ. FT.

REAR ELEVATION

SCALE: 1/4" = 1'-0"

DOOR/WINDOW PROTECTION:

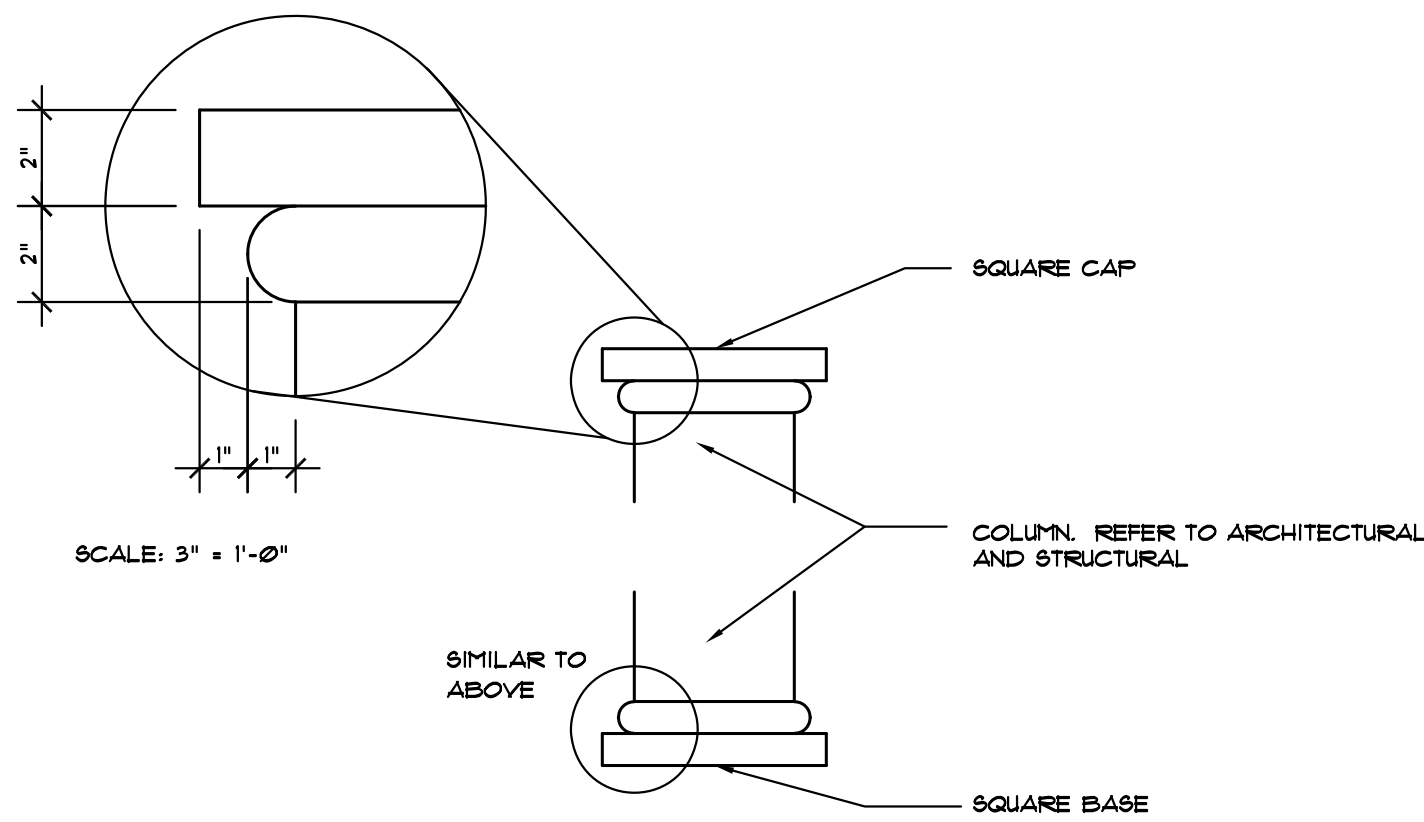
CHART PER 1606.14 OF THE FLORIDA BUILDING CODE

	FASTENER SPACING (IN.) ^{1,2}			
	PANEL 2 FT. < 4 FT.	4 FT. < 6 FT.	6 FT. < 8 FT.	8 FT. < 12 FT.
2 1/2" WOOD SCREWS ³	16"	12"	12"	12"
2 1/2" WOOD SCREWS ³	16"	16"	16"	12"
DOUBLE HEADED NAILS ⁴	12"	6"	4"	3"

91: 1 INCH = 2.4mm, 1 FT. = 305mm

- THIS TABLE IS BASED ON A MINIMUM WIND SPEED OF 130mph (58m/s) AND A MEAN ROOF HEIGHT OF 33 FT. (10m) OR LESS.
- FASTENERS SHALL BE INSTALLED AT OPPOSITE ENDS OF THE WOOD STRUCTURAL PANEL.
- WHERE SCREWS ARE ATTACHED TO MASONRY OR MASONRY/STUCCO, THEY SHALL BE ATTACHED USING VIBRATION-RESISTANT ANCHORS HAVING A MINIMUM WITHDRAWAL CAPACITY OF 430lb (2100N).
- NAILS SHALL BE 10d COMMON OR 12d BOX DOUBLE-HEADED COMMON.

- CONTRACTOR SHALL INSTALL ANCHORS AROUND ALL NEW EXTERIOR DOORS AND WINDOWS FOR INSTALLATION OF MIN 1/2 PLYWOOD HURRICANE PANELS TO BE PROVIDED AND STORED ON SITE. SEE FASTENING SCHEDULE.

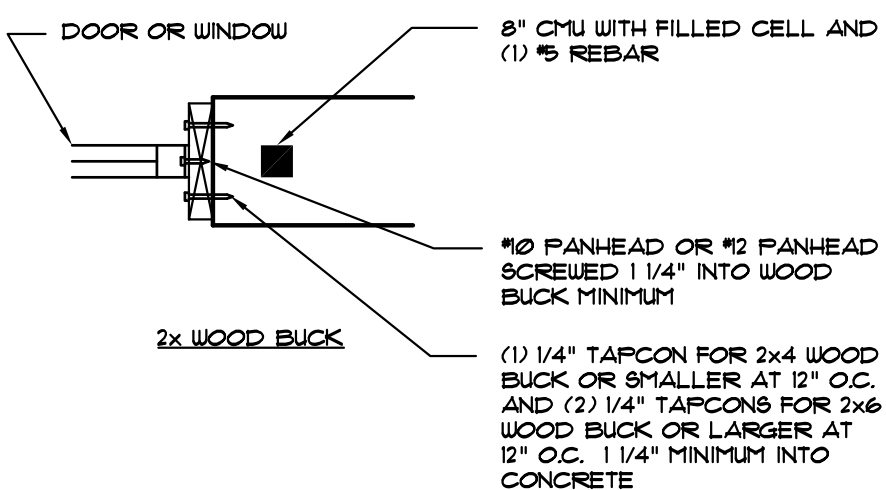
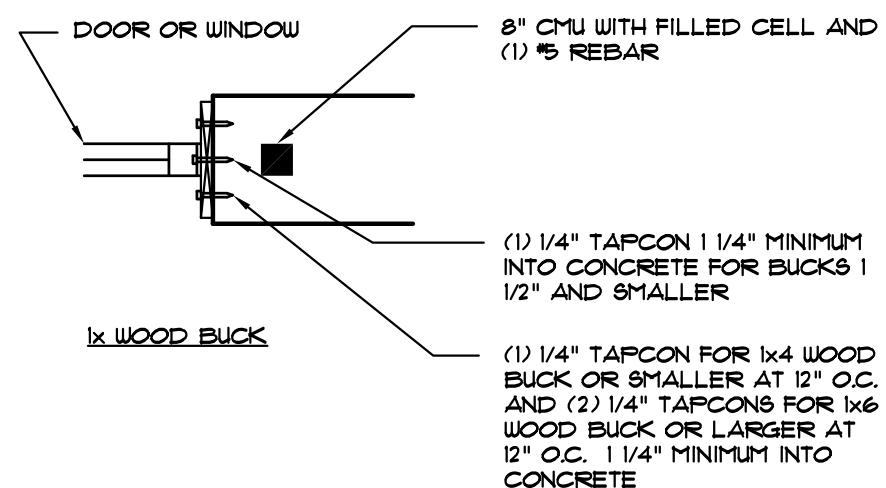


COLUMN DETAIL

SCALE: 1" = 1'-0"

1
a2.1

DOOR AND WINDOW FASTENING:



NOTES:

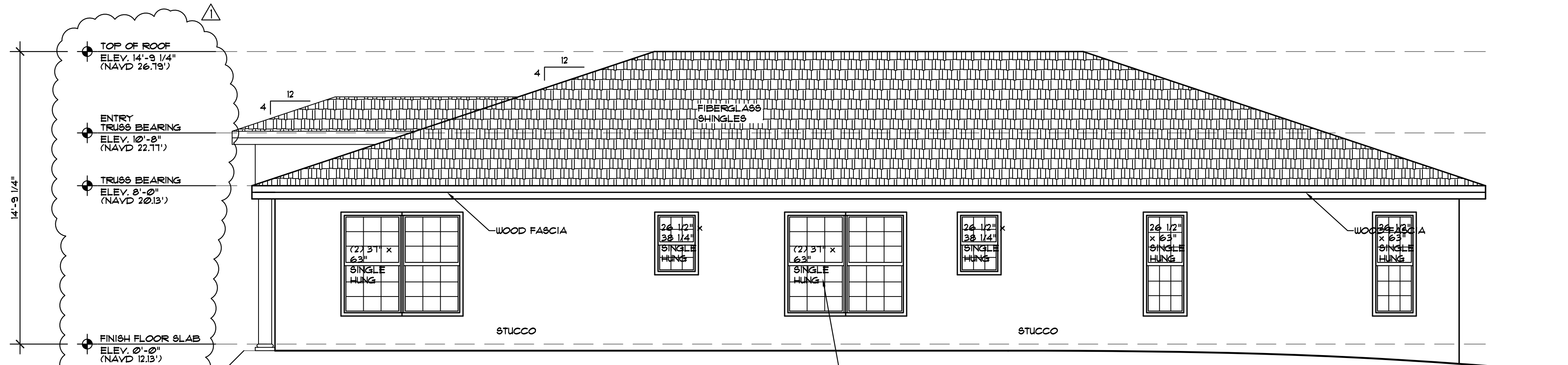
WHERE WOOD SHIM OR BUCK IS LESS THAN 1 1/2", WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED THROUGH THE JAMB. REFER TO 1x BUCK DETAIL ABOVE.

BUCK MUST BE ATTACHED TO TRANSFER THE LOAD TO THE SUBSTRATE.

BUCK MUST EXTEND BEYOND THE INTERIOR LIP OF THE WINDOW/DOOR PROVIDING FULL SUPPORT.

WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED AS SHOWN ABOVE OR PER MANUFACTURER'S RECOMMENDATIONS PER THE DESIGNED LOADS (USE WORST CASE).

BUCK SHALL BE CONTINUOUS ON ALL SIDES OF FRAME.

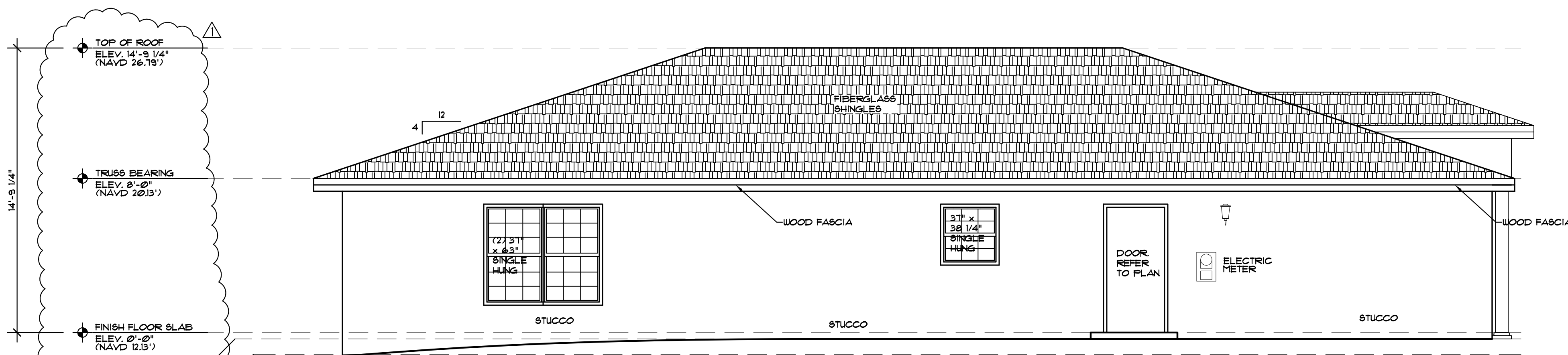


CONTRACTOR SHALL INSTALL ANCHORS AROUND ALL EXTERIOR DOORS AND WINDOWS FOR INSTALLATION OF MINIMUM 1/2" CDX EXT. GRADE PLYWOOD HURRICANE PANELS TO BE PROVIDED AND STORED ON SITE. SEE FASTENING SCHEDULE THIS SHEET

EMERGENCY ESCAPE WINDOW:
MAXIMUM SILL HEIGHT FROM FLOOR: 44"
MINIMUM CLEAR OPENING HEIGHT: 24"
MINIMUM CLEAR OPENING WIDTH: 20"
MINIMUM CLEAR OPENING AREA: 5.1 SQ. FT.
GROUND FLOOR CLEAR OPENING: 5.0 SQ. FT.

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL INSTALL ANCHORS AROUND ALL EXTERIOR DOORS AND WINDOWS FOR INSTALLATION OF MINIMUM 1/2" CDX EXT. GRADE PLYWOOD HURRICANE PANELS TO BE PROVIDED AND STORED ON SITE. SEE FASTENING SCHEDULE THIS SHEET

LEFT ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- VERIFY WINDOW OPENING DIMENSIONS W/ MANUFACTURER SIZES
- DOOR AND WINDOW OPENINGS THAT READ 3000, 20X40, ETC. ARE 3'-0"X8'-0", 2'-0"X4'-0", ETC.

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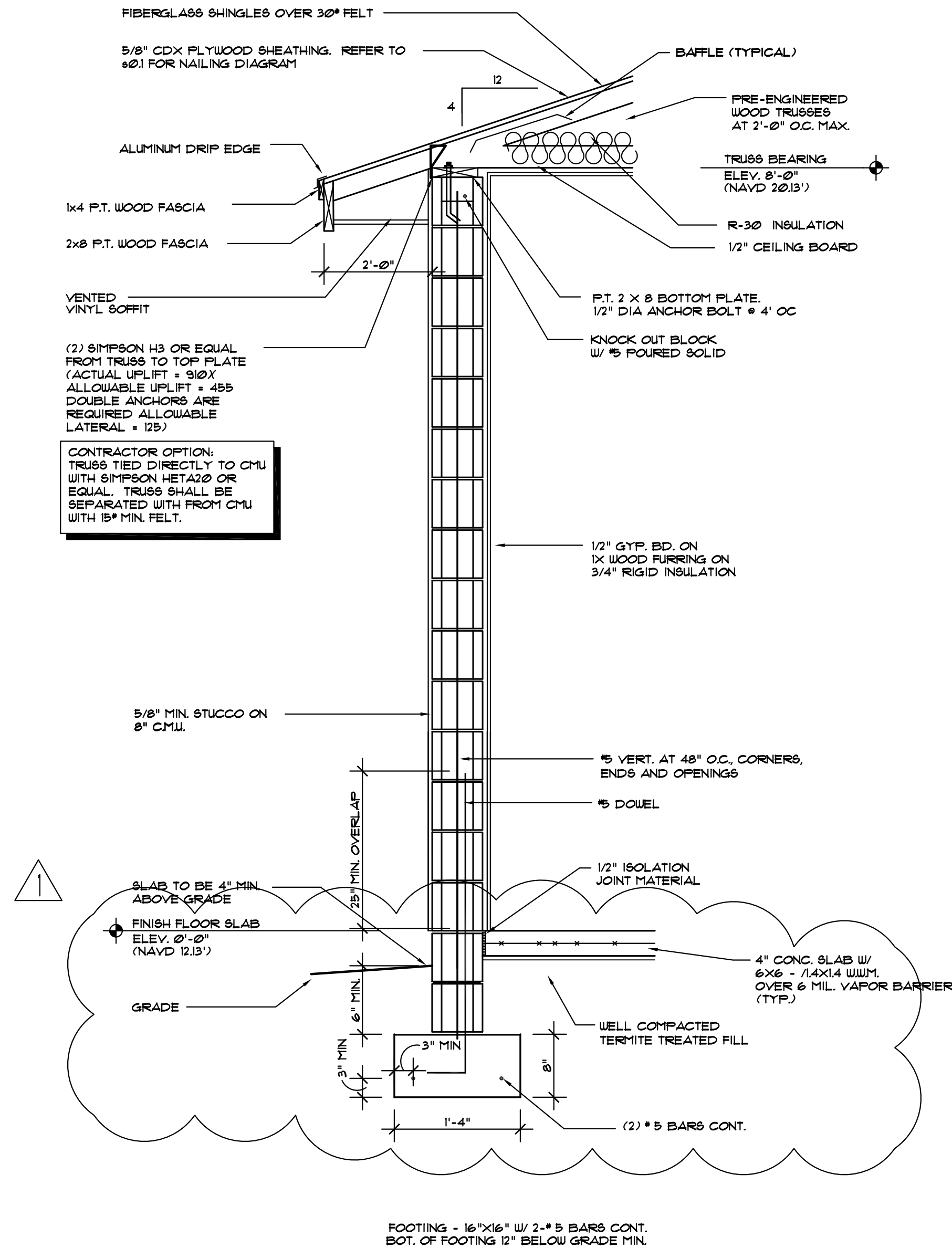
PRESLEY RESIDENCE
New Construction
29th Avenue South
St. Petersburg, Florida

Elevations
Project No. 2008-80R
Revision 01
NOV. 28, 2005

File Name: Presley-a2.1.dwg
Revisions
02-01-2006

MICHAEL ARRIGO
LIC. NO. AR02011335

a2.1



TYPICAL WALL SECTION

SCALE: 3/4" = 1'-0"

1

a3.1

Wall Section

Project No.
2005-80R
Date
NOV. 28, 2005

File Name: PRESLEY-a3.1.dwg
Revisions
02-01-2006

MICHAEL ARRIGO
LIC. NO. AR0011335

a3.1

PRESLEY RESIDENCE

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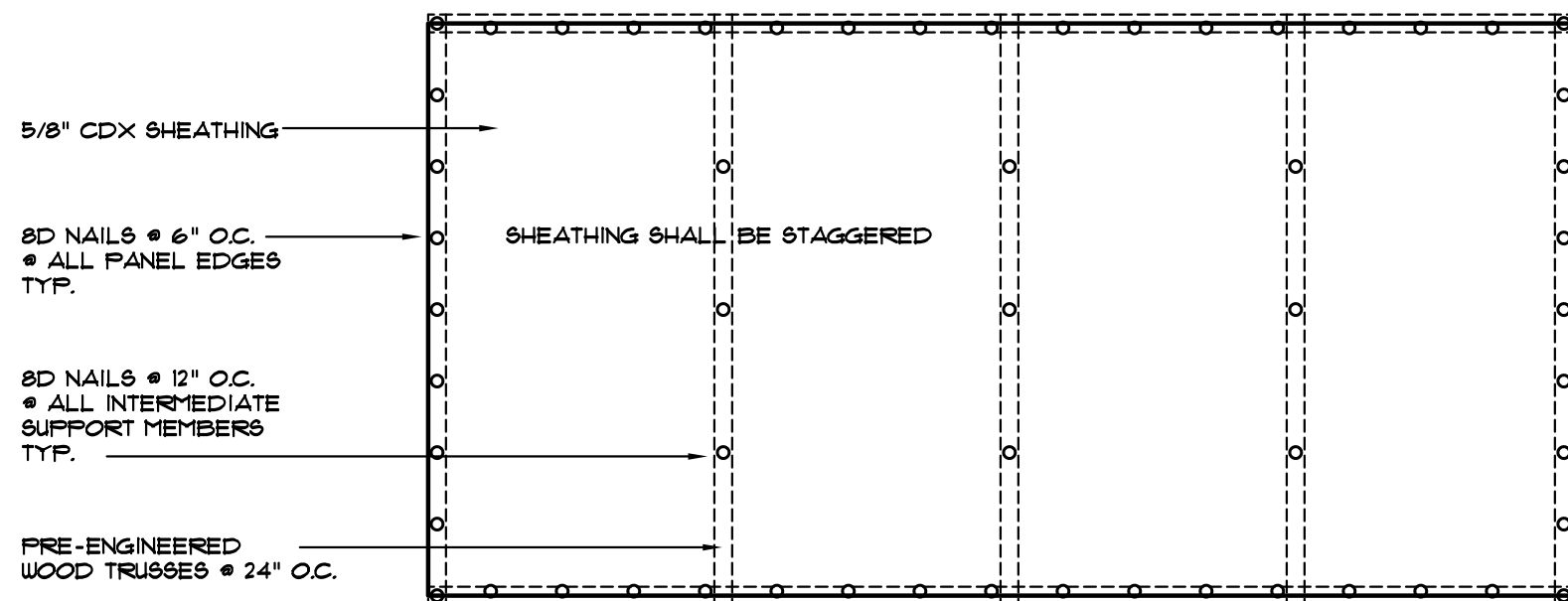
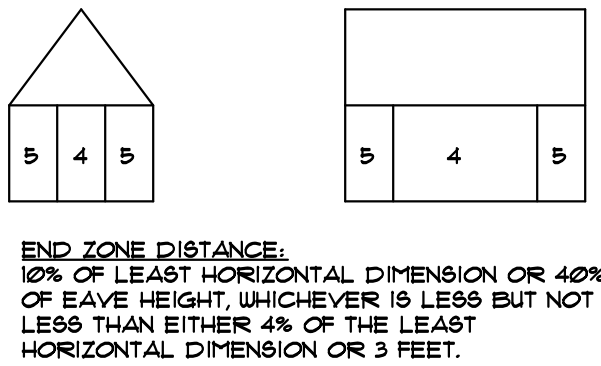
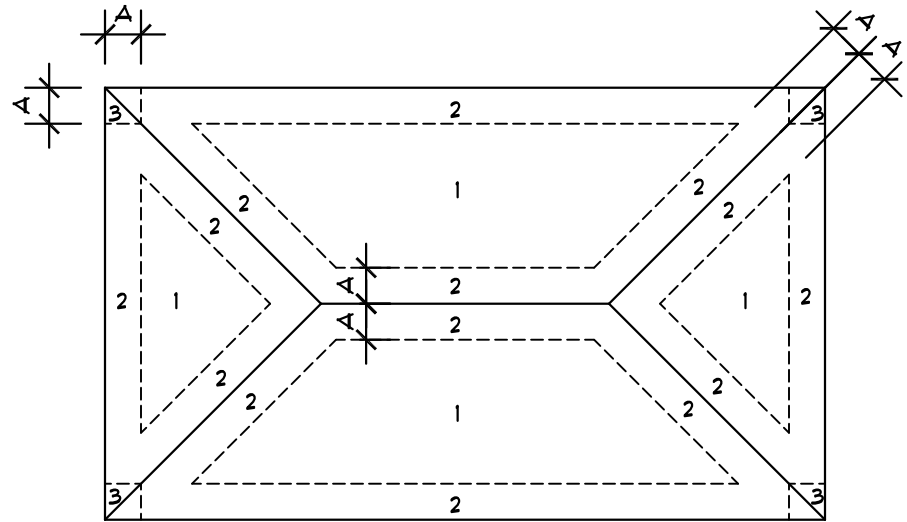
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WIND PRESSURE FOR ROOF COMPONENTS AND CLADDING (P.S.F.)				
EXPOSURE "B" 123 MPH BASIC WIND SPEED (3 SEC. GUST)				
OPENING AREA		ROOF ANGLE 10-30 DEGREES		
		1	2	3
10 FT. SQ.	PRESSURE	+11.5 PSF	+11.5 PSF	+11.5 PSF
	SUCTION	-21.8 PSF	-58.7 PSF	-58.7 PSF
20 FT. SQ.	PRESSURE	+16.0 PSF	+16.0 PSF	+16.0 PSF
	SUCTION	-21.0 PSF	-53.3 PSF	-53.3 PSF
50 FT. SQ.	PRESSURE	+13.9 PSF	+13.9 PSF	+13.9 PSF
	SUCTION	-26.0 PSF	-46.1 PSF	-46.1 PSF
100 FT. SQ.	PRESSURE	+12.4 PSF	+12.4 PSF	+12.4 PSF
	SUCTION	-25.2 PSF	-40.7 PSF	-40.7 PSF

WIND PRESSURE FOR WALL COMPONENTS AND CLADDING (P.S.F.)				
EXPOSURE "B" 123 MPH BASIC WIND SPEED (3 SEC. GUST)				
OPENING AREA		WALL AREA		
		4	5	
10 FT. SQ.	PRESSURE	+30.4 PSF	+30.4 PSF	
	SUCTION	-33.0 PSF	-40.7 PSF	
20 FT. SQ.	PRESSURE	+29.0 PSF	+29.0 PSF	
	SUCTION	-31.6 PSF	-38.0 PSF	
50 FT. SQ.	PRESSURE	+21.2 PSF	+21.2 PSF	
	SUCTION	-23.8 PSF	-34.3 PSF	
100 FT. SQ.	PRESSURE	+25.3 PSF	+25.3 PSF	
	SUCTION	-28.4 PSF	-31.6 PSF	



ROOF SHEATHING NAILING DETAIL

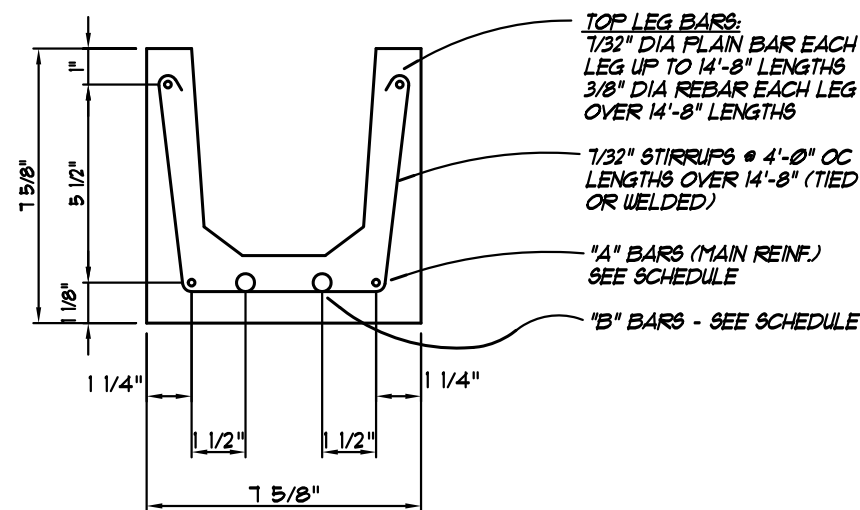
REINFORCING SCHEDULE AND LOAD CAPACITIES

LINTEL LENGTH	BAR LENGTH	CLEAR SPAN	BOTTOM REINFORCING BARS 'A' BARS	'B' BARS	MAX SAFE LOAD LINTEL ONLY	SAFE LOAD ON COMPOSITE
2'-10"	2'-8"	1'-6"	(2) 1/32" DIA FLAIN BARS ENDS HOOKED UP 90° FOR 2 1/2"	NONE	1,000#	3,000#
3'-6"	3'-4"	2'-2"				
4'-0"	3'-10"	2'-8"				
4'-6"	4'-4"	3'-2"				
5'-4"	5'-2"	4'-0"	(2) 5	NONE	1,000#	2,100#
5'-10"	5'-8"	4'-6"				
6'-4"	6'-2"	5'-0"				
6'-8"	6'-4"	5'-4"				
7'-6"	7'-0"	6'-2"	(2) 4	NONE	800#	2,250#
8'-4"	7'-10"	7'-0"				
9'-4"	8'-10"	8'-0"	(2) 5	NONE	800#	2,000#
10'-6"	10'-0"	9'-2"				
11'-4"	10'-10"	10'-0"	(2) 5		800#	2,000#
12'-6"	12'-0"	11'-2"			100#	1,000#
13'-4"	12'-10"	12'-0"			650#	1,600#
14'-0"	13'-6"	12'-8"			600#	1,100#

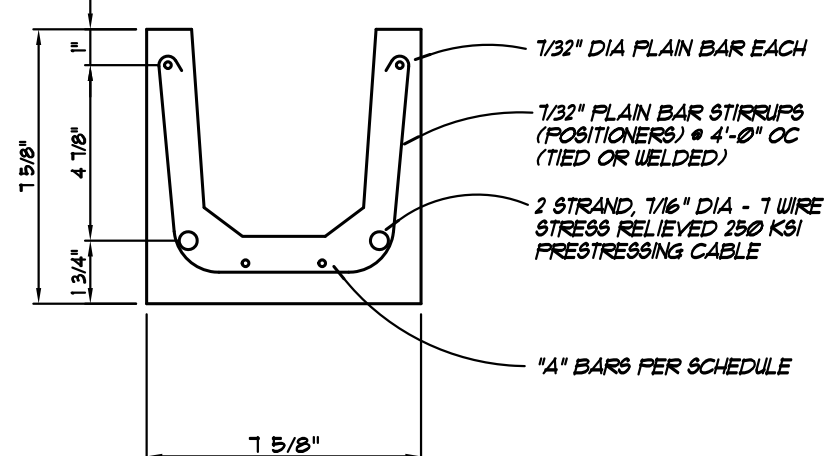
SPECIFICATIONS

- BAR STEEL SHALL BE MIN. GRADE 40 DEFORMED EXCEPT WHERE FLAIN BARS (HOOKED FOR BOND ANCHORAGE) ARE SPECIFICALLY PERMITTED.
- CONCRETE IN PRECAST MEMBERS TO BE MIN. 4000 PSI @ 28 DAYS.

PRECAST CONCRETE



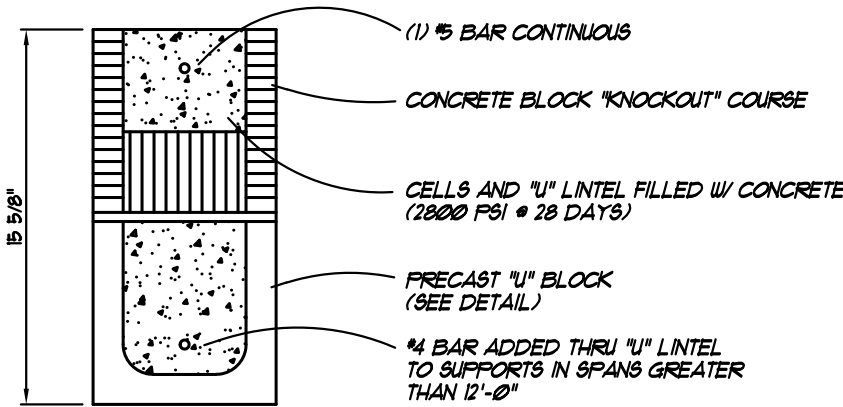
PRESTRESSED CONCRETE



REINFORCING SCHEDULE AND LOAD CAPACITIES

LINTEL LENGTH	CLEAR SPAN	'A' BAR SCHEDULE	MAX SAFE LOAD LINTEL ONLY	SAFE LOAD ON COMPOSITE
14'-8"	13'-4"	NONE	650#	1,900#
15'-4"	14'-0"	NONE	650#	1,900#
17'-4"	16'-0"	4 BARS	510#	1,500#
19'-4"	18'-0"	(2) 5 BARS	360#	1,400#
20'-0"	18'-8"	(2) 5 BARS	425#	1,400#
22'-0"	20'-8"	(2) 5 BARS	380#	1,220#
24'-0"	22'-8"	(2) 5 BARS	320#	1,020#

COMPOSITE LINTEL SECTION



TYPICAL LINTEL SECTIONS

LENGTH	SAFE LOAD - POUNDS PER LINEAL FOOT	
	UNFILLED	FILLED
4'-0" (48") PRECAST	1875	6048
4'-6" (54") PRECAST	1860	4815
5'-4" (64") PRECAST	1575	3744
5'-10" (70") PRECAST	1743	4615
6'-6" (78") PRECAST	1565	3260
7'-6" (90") PRECAST	1550	2887
9'-4" (112") PRECAST	1025	1747
10'-6" (126") PRECAST	927	1333
11'-4" (136") PRECAST	800	1483
12'-0" (144") PRECAST	750	1364
13'-4" (160") PRECAST	651	1018
14'-0" (168") PRECAST	585	909
14'-8" (176") PRESTRESSED	563	1341
15'-4" (184") PRESTRESSED	510	1210
17'-4" (208") PRESTRESSED	387	91
19'-4" (232") PRESTRESSED	289	823
21'-4" (256") PRESTRESSED	233	879
22'-0" (264") PRESTRESSED	279	857
24'-0" (288") PRESTRESSED	226	716

- ABOVE INFORMATION IS BASED ON CAST-CRETE (FPCP CORP.) BRAND LINTELS.
-- BASED ON TESTS CONDUCTED BY WERNER F. ROSCH, P.E.
-- PRECAST LINTELS MAY BE SUPPLIED BY CAST-CRETE OR OTHER BUILDING CODE APPROVED PRECAST MANUFACTURERS.

CAST-CRETE PRECAST LINTEL SAFE LOADS

TABLE R301.1 OF THE FLORIDA BUILDING CODE

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS	
RAFTERS HAVING SLOPES GREATER THAN 3/12 WITH NO FINISHED CEILING ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS AND PLASTERED CEILING	L/360
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS--WIND LOADS WITH BRITTLE FINISHES	L/240
EXTERIOR WALLS--WIND LOADS WITH FLEXIBLE FINISHES	L/120

STRUCTURAL SPECIFICATIONS:

WARNING:

THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDANT UPON THE COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE STRUCTURE DURING CONSTRUCTION, UNLESS THE CONSTRUCTION IS SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

CAST IN PLACE CONCRETE:

- ALL REINFORCED CONCRETE SHALL BE NORMAL WEIGHT. THE MINIMUM 28 DAY COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS:
A) SLAB ON GRADE + 3000 PSI MIN.
B) FOOTINGS, COLUMNS, TIE BEAMS + 3000 PSI
- CONCRETE REINFORCING STEEL SHALL BE GRADE 40
- WELDED WIRE FABRIC SHALL BE 6" X 6" - W14/W14

WOOD TRUSS NOTES:

- ALL DESIGNS SHALL BE PREPARED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF FLORIDA. ALL SHOP DRAWINGS AND CALCULATIONS SHALL BEAR THE SIGNATURE AND SEAL OF THE ENGINEER.
- ALL TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE FLORIDA BUILDING CODE 2004 AND AS SET FORTH BY THE TIMBER FRAMING CODES.

ROOF TOTAL LOAD + 40 PSF
WLL TOP CHORD + 20 PSF
BOTTOM CHORD + 0 PSF
WDL TOP CHORD + 20 PSF
BOTTOM CHORD + 10 PSF

WOOD FRAMING:

- ALL STRUCTURAL LUMBER AND EXTERIOR FRAMING SHALL BE P. SOUTHERN YELLOW PINE OR BETTER UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL WOOD FRAMING SHALL CONFORM TO THE APPLICABLE REQUIREMENTS SET FORTH IN THE 2004 FLORIDA BUILDING CODE AND SHALL INCLUDE BUT NOT BE LIMITED TO CONNECTIONS, BRACING, BRIDGING AND NAILING.

FOUNDATION REINFORCING:

- THE REQUIRED MINIMUM LAP SPICE FOR REBARS SHALL BE (30 BAR DIAMETERS).
- EMBED FOOTING DOUELLS 6" MINIMUM INTO FOOTINGS, EXTEND INTO TIE BEAMS AND BEND HOOKS OVER TOP BAR 25" MINIMUM.

CARPENTRY:

- DIMENSIONED LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.
- ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
- ALL LUMBER SHALL BE SOUTHERN PINE NO. 2 GRADE OR BETTER WITH 15% MAXIMUM MOISTURE CONTENT.
- ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
- PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH F.B. TT-W-571 AND BEAR THE AMERICAN WOOD PRESERVERS INSTITUTE QUALITY MARK LP-2.
- PLYWOOD SHEATHING SHALL CDX WITH EXTERIOR GLUE. ALL ROOF SHEATHING TO BE INSTALLED WITH PLYCLIPS.
- INSTALL BRIDGING IN ALL FLOOR OR ROOF JOISTS AT 8'-0" O.C. MAXIMUM. INSTALL BLOCKING IN ALL WALL STUDS @ MID-HEIGHT.
- ALL NAILING AND BOLTING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS.
- ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY HUGHES, SIMPSON STRONGTIE CO. OR EQUIVALENT.
- PROVIDE A SINGLE PLATE AT THE BOTTOM AND DOUBLE PLATE AT THE TOP OF ALL STUD WALLS. 2 X 4 SILL PLATES SHALL BE BOLTED TO FOUNDATION AT A MAXIMUM OF 4'-0" O.C.
- STUDS SHALL BE DOUBLED AT ALL ANGLES AND AROUND ALL OPENINGS. STUDS SHALL BE TRIPLED AT ALL CORNERS.
- ALL OUTSIDE CORNERS SHALL BE BRACED WITH A DIAGONAL 1 X 4 LET INTO OUTSIDE EDGE OF 2 X 4 STUDS, UNLESS PLYWOOD SHEATHING IS SHOWN ON DRAWINGS.
- WOOD LINTELS OVER NON-LOAD BEARING OPENINGS SHALL BE DOUBLE 2 X 6 HEADERS FOR SPANS UP TO 6'-0" AND DOUBLE 2 X 8 HEADERS FROM 6'-0" TO 7'-0". SEE PLANS FOR SPANS GREATER THAN 7'-0".

DESIGN CRITERIA

FLORIDA BUILDING CODE 2004

BASIC WIND SPEED (3 SEC. GUST) 123 M.P.H.
IMPORTANCE FACTOR 1.0
EXPOSURE "B"
BUILDING CATEGORY II
PROTECTION OF OPENINGS ENCLOSED
INTERNAL PRESSURE COEF. +0.18 , - 0.18
COMPONENTS & CLADDING REFER TO INDIVIDUALS ITEMS ON FLOOR PLANS
REFER TO WOOD TRUSS NOTES THIS SHEET FOR TRUSS LOADS

ROOF LIVE LOAD + 20 PSF
ROOF DEAD LOAD + 20 PSF
TOTAL ROOF LOAD + 40 PSF

Structural Notes

File Name: Presley-01.dwg

Revisions

Project No. 2008-80R

Revision 1

NOV. 28, 2005

MICHAEL ARREGO
L.C. NO. AR02011335

s0.1

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PRESLEY RESIDENCE

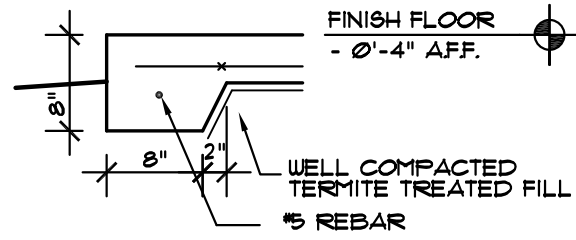
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TERMITE PROTECTION NOTES:

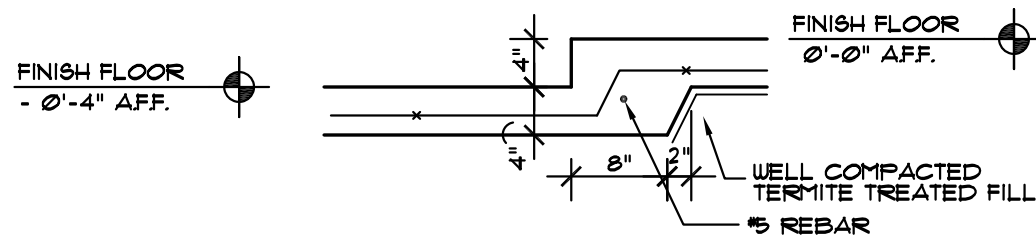
- 1. APPROVED TERMITE PROTECTIVE TREATMENT SHALL BE USED AND PROVIDED.
- 2. PERMANENT SIGNAGE FOR TREATMENT SHALL BE POSTED NEAR WATER HEATER OR ELECTRICAL PANEL.
- 3. A 6" MINIMUM CLEARANCE SHALL BE PROVIDED BETWEEN EXTERIOR WALLS AND GRADE FOR TERMITE INSPECTION (4" MINIMUM FOR GARAGE/PATIO SLABS).
- 4. A 1'-0" MINIMUM CLEARANCE SHALL BE PROVIDED BETWEEN THE STRUCTURE'S SIDEWALLS AND CONDENSATE LINES, ROOF DOWNSPOUTS, SPRINKLER SYSTEMS AND RISERS FOR SPRAY HEADS.
- 5. APPROVED TERMITE PROTECTION SHOULD BE PLACED/PROTECTED W/ 6MIL VAPOR BARRIER. IT SHALL BE DONE AFTER EXCAVATION, BACKFILLING AND COMPACTION. ANY SOIL DISTURBANCE AFTER TREATMENT SHALL BE PROTECTED BY PERMANENT PLASTIC OR METAL FORMS IN CONCRETE FLOORS BOXED OUT OR CONSTRUCTED FOR THE INSTALLATION OF PLUMBING LINES AND THE LIKE. IF SOIL IS DISTURBED AFTER TREATMENT, SOIL SHOULD BE RETREATED.
- 6. ELIMINATE OVERPOUR OR MORTAR ACCUMULATION ALONG THE EXTERIOR FOUNDATION PERIMETER BEFORE TREATMENT TO ENHANCE VERTICAL PENETRATION OF CHEMICALS.
- 7. TREATMENT SHALL BE APPLIED TO ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF SIDEWALLS (W/ 6MIL VAPOR BARRIER AFTER CONSTRUCTION).
- 8. NON-CELLULOSE MATERIAL W/ TERMITICIDE SHALL BE USED FOR PROTECTIVE SLEEVES AROUND METAL PIPINGS PENETRATING ON SLAB-ON-GRADE FLOORS.
- 9. POST CONSTRUCTION, ALL LOOSE WOOD AND DEBRIS SHALL BE COMPLETELY REMOVED FROM UNDER THE BUILDING WITHIN 1'-0" EXCEPT FOR NATURALLY DURABLE OR P.T. WOOD FOR GROUND CONTACT AND INSTALLED 6" MIN FROM THE STRUCTURE FOR TERMITE INSPECTION.



EXTERIOR THICKENED SLAB

SCALE: 3/4" = 1'-0"

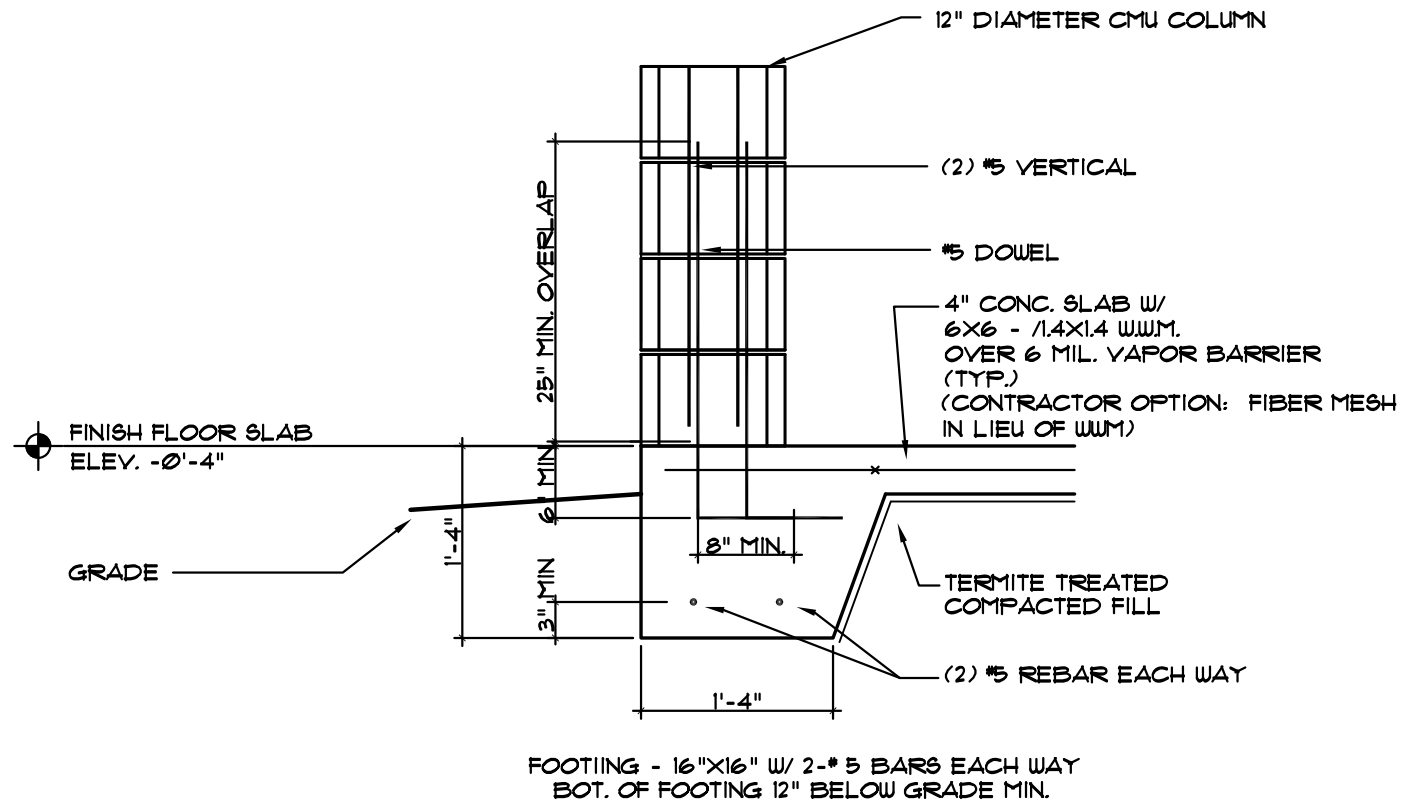
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STEP DOWN THICKENED SLAB

SCALE: 3/4" = 1'-0"

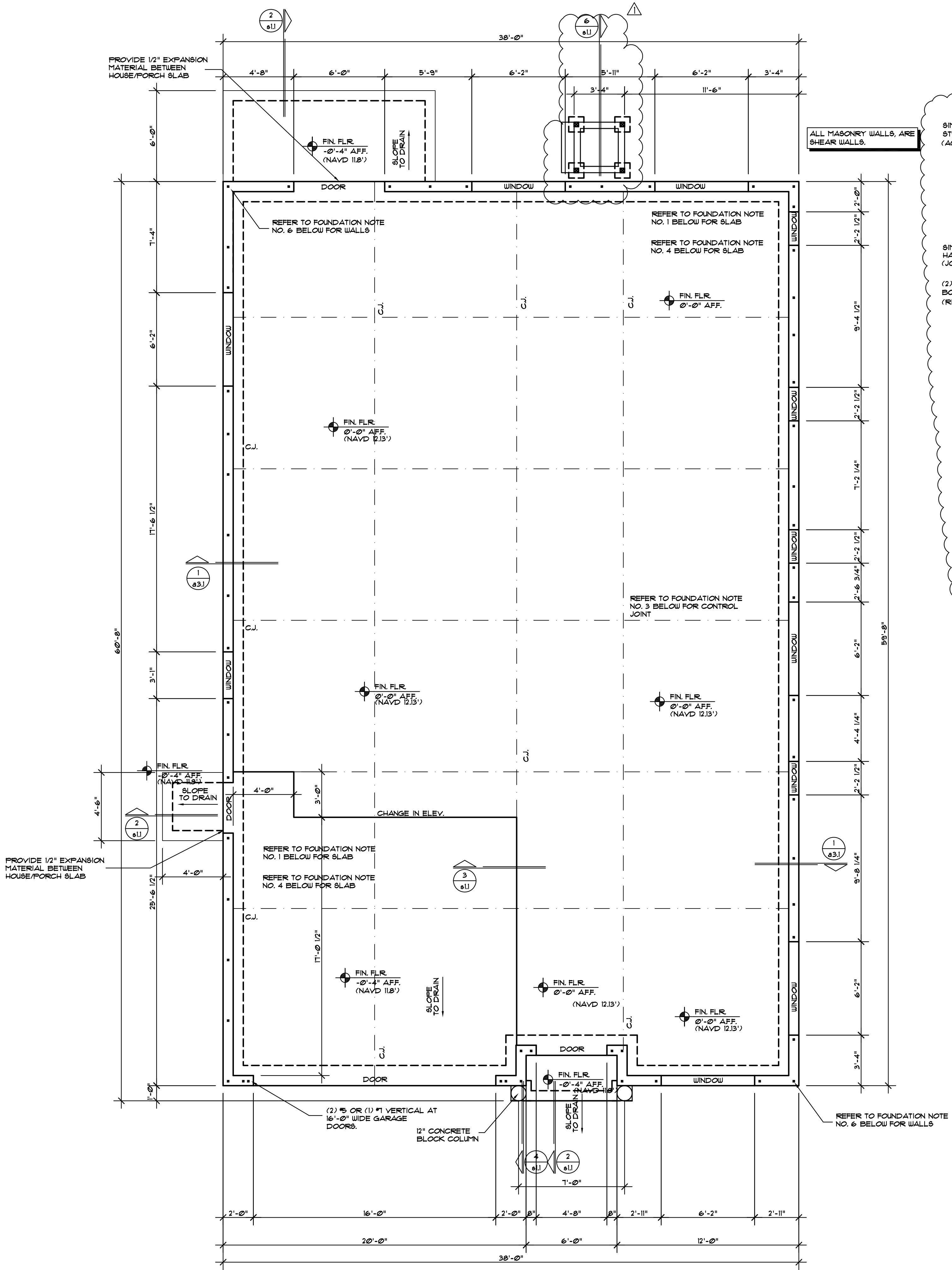
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COLUMN FOOTING

SCALE: 1" = 1'-0"

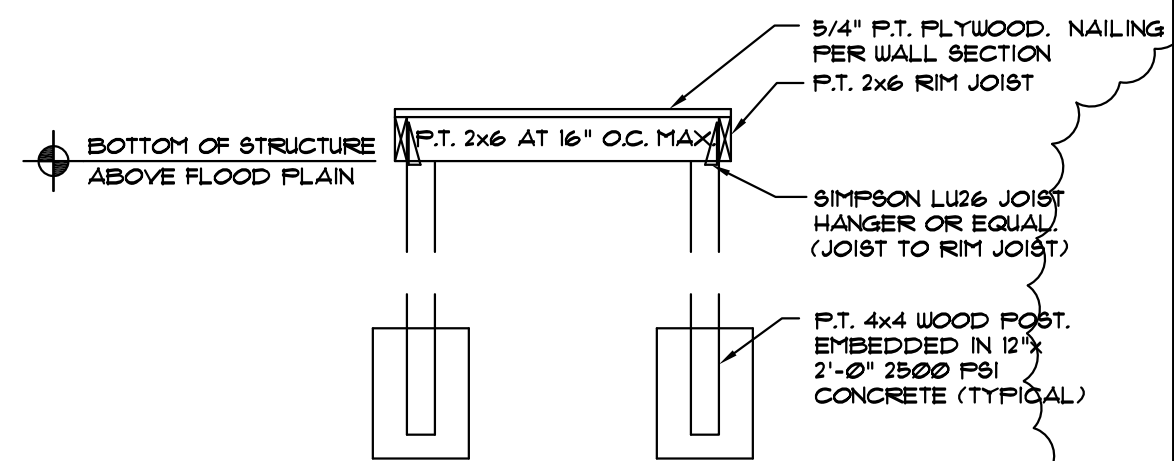
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A/C PLATFORM PLAN

SCALE: 1/2" = 1'-0"

5
s1.1



AC PLATFORM SECTION

SCALE: 1/2" = 1'-0"

6
s1.1

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

- 1. SLAB-ON-GRADE TO BE 4" THICK W/ 6x6 - W4xW4 WUF ON 6 MIL VAPOR BARRIER (LAPPED AND TAPED) (CONTRACTOR OPTION: FIBER MESH IN LIEU OF WUF)
- 2. TOP OF SLAB ELEV. + 0'-0" EXCEPT WHERE NOTED.
- 3. C.J. = 3/16" W. x 1" D.P. SAW CUT CONTROL JOINT. CUT SAME DAY AS POUR.
- 4. PROVIDE TERMITE TREATED CLEAN WELL COMPACTED FILL UNDER FLOOR SLAB.
- 5. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES
- 6. REINFORCE ALL MASONRY WALLS W/ #5. @ 48" OC MAX. @ ALL CORNERS & JAMBS

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PRESLEY RESIDENCE

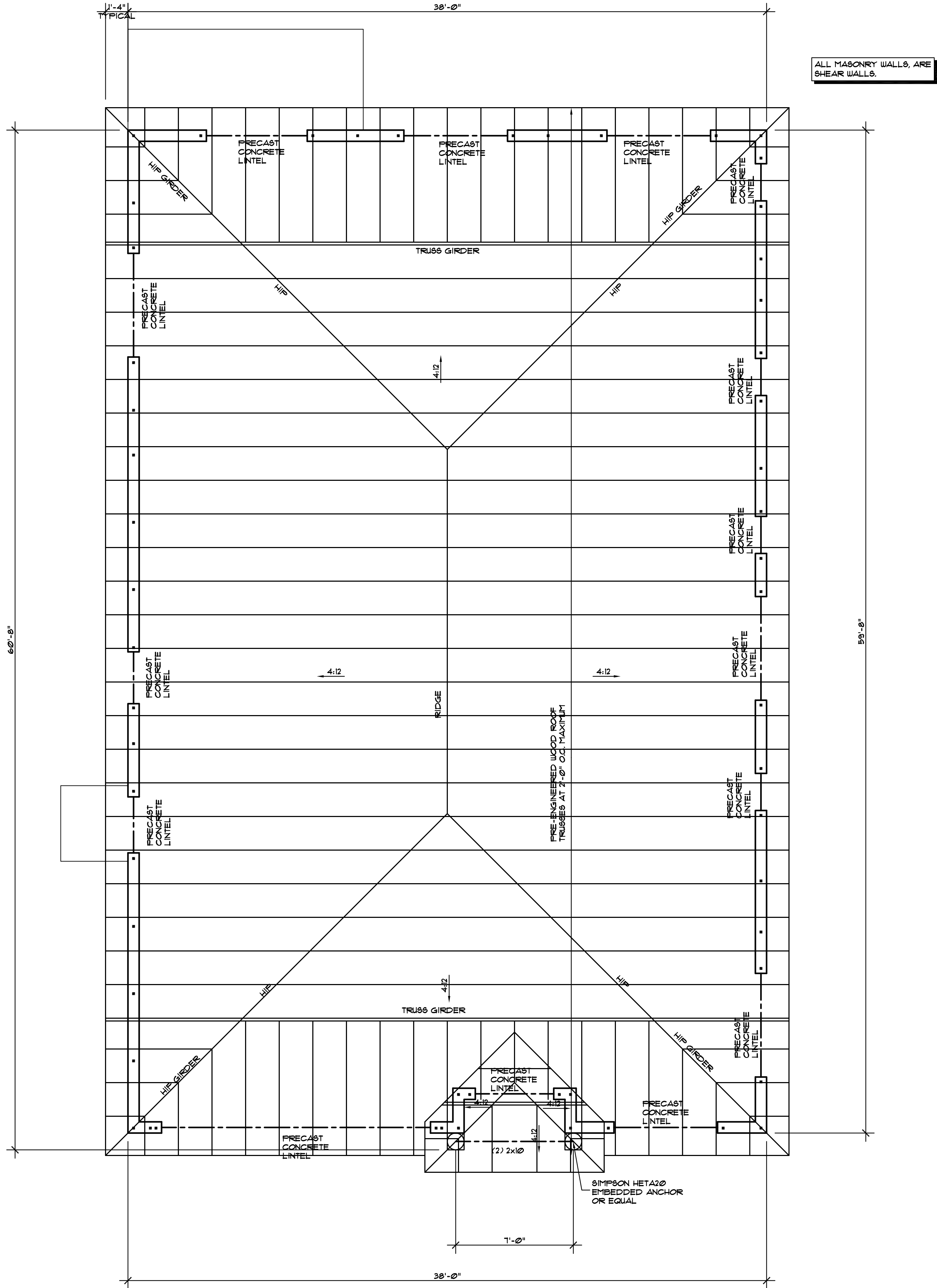
New Construction
29th Avenue South
St. Petersburg, Florida

Foundation Plan

Project No. 2008-80R	File Name PRESLEY-F11.dwg
Revision NOV. 28, 2005	Revised 02-01-2006

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s1.1



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

ROOF PLAN NOTES:

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
- ROOF FRAMING TO BE PRE-ENGINEERED WOOD TRUSSES AT 2'-0" O.C. EXCEPT WHERE NOTED.
- ALL EXPOSED WOOD SHALL BE PRESSURE TREATED WITH GALVANIZED NAILS, BOLTS, AND CONNECTORS.
- USE GALVANIZED METAL CONNECTORS FOR WOOD TRUSSES AND BEAMS.
- ALL FRAMING SHALL BE SOUTHERN YELLOW PINE #2.

Roof Plan

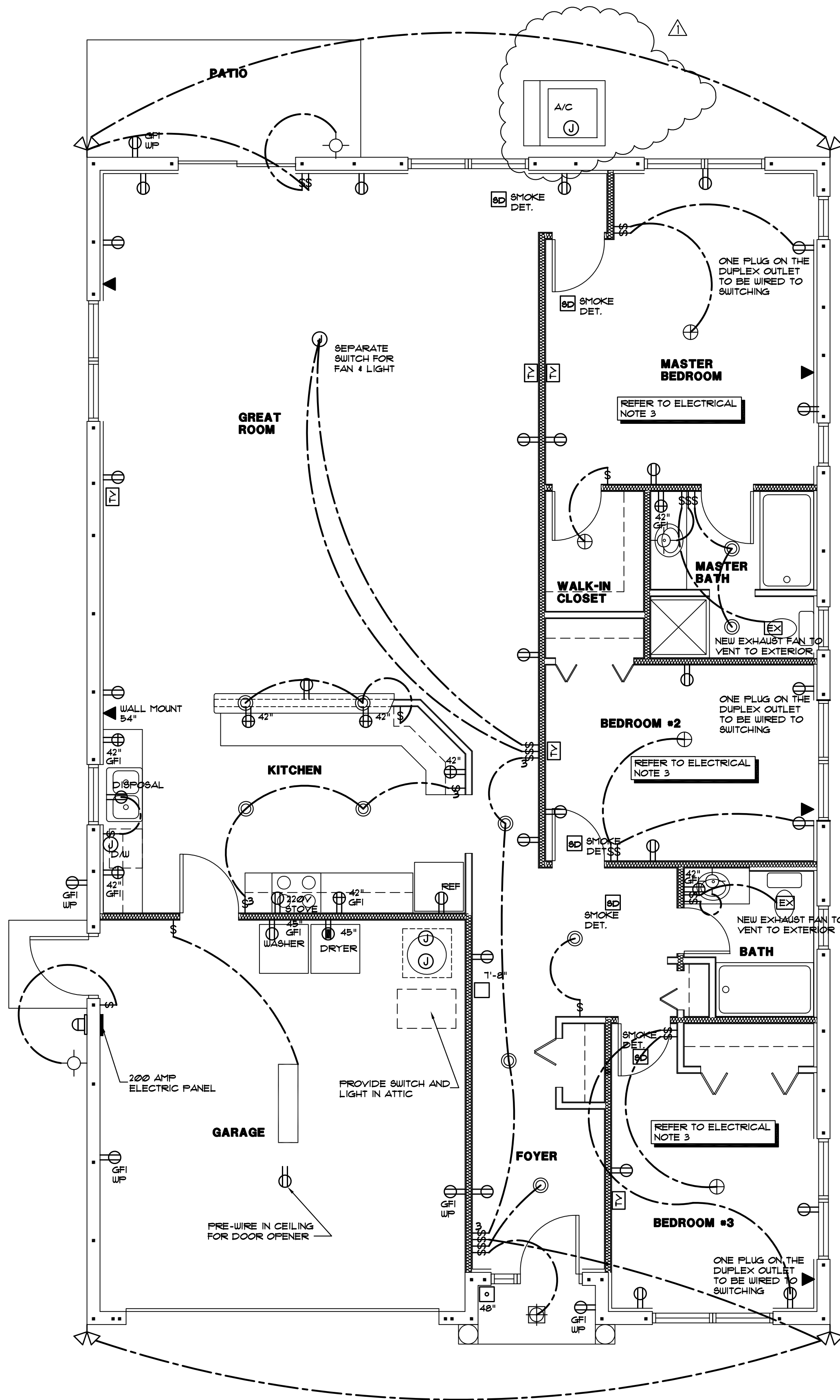
Project No.	2005-80R
Date:	NOV. 28, 2005
File Name:	PRESLEY-rs1.dwg
Revisions:	

PRESLEY RESIDENCE
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s2.1



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

SMOKE ALARM NOTES:

- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- IN EACH SLEEPING ROOM.
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
- WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- ALL SMOKE ALARMS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.

- WHEN INTERIOR ALTERATIONS, REPAIRS, OR ADDITIONS REQUIRING A PERMIT OCCUR OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE PROVIDED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS; THE SMOKE ALARMS SHALL BE INTERCONNECTED AND HARD WIRED.
- EXCEPTIONS:
- SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED TO BE INTERCONNECTED AND HARD WIRED WHERE THE ALTERATIONS OR REPAIRS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE, OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR HARD WIRING AND INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES.
 - REPAIRS TO THE EXTERIOR SURFACES OF DWELLINGS ARE EXEMPT FROM THE REQUIREMENTS OF THIS SECTION.
- IN NEW CONSTRUCTION, THE REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. SMOKE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHEN INSTALLED IN BUILDINGS WITHOUT COMMERCIAL POWER OR IN BUILDINGS THAT UNDERGO ALTERATIONS, REPAIRS OR ADDITIONS REGULATED BY SECTION R313.1.

ELECTRICAL NOTES:

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES. CODES AND ORDINANCES SHALL TAKE PRECEDENCE OVER THE CONSTRUCTION DOCUMENTS ONLY IN THE CASE OF CONFLICT.
- FIXTURE, OUTLET, AND SWITCH LOCATIONS ARE DIAGNOSTIC. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS WITH MINIMUM CODE REQUIREMENTS AND OTHER TRADES WHEN NOT SHOWN IN DETAIL.
- ALL BEDROOM RECEPTACLES SHALL BE WIRED TO AN ARC FAULT CIRCUIT INTERRUPTER.

ELECTRICAL KEY

SYMBOL	DESCRIPTION
	DUPLEX CONVENIENCE OUTLET
	DUPLEX OUTLET ABOVE COUNTER
	GROUND FAULT INTERRUPTER DUPLEX OUTLET
	WATER PROOF DUPLEX OUTLET
	220 VOLT OUTLET
	DUPLEX FLOOR MOUNTED OUTLET
	WALL SWITCH (D=DIMMER)
	ELECTRIC PANEL
	SMOKE DETECTOR
	TELEVISION CABLE OUTLET
	TELEPHONE
	EXHAUST FAN
	FLUORESCENT
	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
	INCANDESCENT LIGHT FIXTURE CEILING RECESSED
	INCANDESCENT LIGHT FIXTURE CEILING MOUNTED
	DOOR CHIME
	DOOR BELL
	SOFFIT MOUNTED SPOT LIGHT WITH MOTION SENSOR
	AIMABLE RECESSED FIXTURE
	HANGING CEILING FIXTURE (OWNER SELECT CHANDELIER)

rchitectonics Studio

Lic. # AA-0003347
218 5th Ave. N St. Petersburg, FL 33701
Tel: 727-323-6676 Fax: 727-323-6826
email: jacti@tampabayrr.com http://architectonicsstudio.com

PRESLEY RESIDENCE

New Construction
29th Avenue South
St. Petersburg, Florida

Electrical Plan

Project No. 2008-80R
Rev. 01
NOV. 28, 2005

File Name: Presley-ef1.dwg
Revisions
02-01-2006

MICHAEL ARRIGO
L.C. NO. AR02011335

e1.1

19-54000033
Photographs



19-54000033
Photographs





VARIANCE

Application No. 19-54000033

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): <u>Earl Presley</u>	
Street Address:	<u>2029 29th Ave So 3759 29th Ave South</u>
City, State, Zip:	<u>St. Pete, FL 33711</u>
Telephone No:	<u>727 452 4848</u> Email Address: <u>earlplb@yahoo.com</u>
NAME of AGENT or REPRESENTATIVE:	
Street Address:	
City, State, Zip:	
Telephone No:	Email Address:
PROPERTY INFORMATION:	
Street Address or General Location:	<u>3759 29th Ave So St. Pete, FL 33711</u>
Parcel ID#(s):	
DESCRIPTION OF REQUEST: <u>variance to lot area and width to create one new buildable lot</u>	
PRE-APPLICATION DATE:	PLANNER:

FEE SCHEDULE			
1 & 2 Unit, Residential – 1 st Variance	\$300.00	Each Additional Variance	\$100.00
3 or more Units & Non-Residential – 1 st Variance	\$300.00	After-the-Fact	\$500.00
		Docks	\$400.00
		Flood Elevation	\$300.00
Cash, credit, checks made payable to "City of St. Petersburg"			

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*:

Date:

3-11-19

*Affidavit to Authorize Agent required, if signed by Agent

Typed Name of Signatory: Earl Presley

UPDATED 09-30-16

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address:	3559 29 th Ave South
Case No.:	
Detailed Description of Project and Request:	
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?	
<p>50 X 100 I submitted plans in 2007 for new construction of a single family residence. Paid for block, trusses and permits prior to code change. I had to stop in the middle of construction due to unforeseen financial hardships.</p>	
2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.	
Yes	
3. How is the requested variance not the result of actions of the applicant?	
The city changed the width requirements	

VARIANCE

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
<p>4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>Before the change in code the City of St. Pete approved construction on a 50 x 100 lot the affordable home will enhance the character and property value of the neighborhood.</p>
<p>5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?</p> <p>There are no other alternatives.</p>
<p>6. In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>By granting this request the single family unit will upgrade the character of the neighborhood.</p>



PUBLIC PARTICIPATION REPORT

Application No. _____

In accordance with LDR Section 16.70.040.1.F.2. "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a permit requiring review and public hearing. The applicant, at his option, may elect to include neighborhood mediation as a preparatory step in the development process. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

APPLICANT REPORT	
Street Address:	
1. Details of techniques the applicant used to involve the public	
(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal	
none	
(b) Content, dates mailed, and number of mailings, including letters, meeting notices, newsletters, and other publications	
none	
(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located	
none	
2. Summary of concerns, issues, and problems expressed during the process	
none	
3. Signature or affidavit of compliance - President or vice-president of any neighborhood associations	
Check one: <input type="checkbox"/> Proposal supported	
<input type="checkbox"/> Do not support the Proposal	
<input type="checkbox"/> Unable to comment on the Proposal at this time	
<input type="checkbox"/> Other comment(s):	
Association Name:	President or Vice-President Signature:
If the president or vice-president of the neighborhood association are unavailable or refuse to sign such certification, a statement as to the efforts to contact them and (in the event of unavailability or unwillingness to sign) why they were unable or unwilling to sign the certification.	

Scot K. Bolyard

From: Earl Presley <earlp16at@yahoo.com>
Sent: Monday, March 11, 2019 10:43 AM
To: elw727@outlook.com
Cc: Scot K. Bolyard
Subject: New Single family Construction

To whom it Concern,

I would to notify you that I'm requesting a variance to the minimum lot size requirements to build a single family residence on the lot to 3759 29th ave south St. Petersburg, FL 33711 on lot 19.

Respectfully,

Earl Presley
7274524848
Sent from Yahoo Mail on Android

sp1.1

MICHAEL, ARMSTRONG
LIC. NO. 10001101

Project No.
2006-008
Date
NOV. 28, 2006

Site Plan
Rev. 02-01-2006

St. Petersburg,
29th Avenue South
New Construction
PRESLEY RESIDENCE
Florida

rchitectonics
Studio
L.L.C. • AA-0003347
215 8th Ave. N. St. Petersburg, FL 33701
(p) 727-323-5576 (e) 727-558-1034 (f) 727-323-5538
email: jacob@rchitectonics.com http://rchitectonics.com

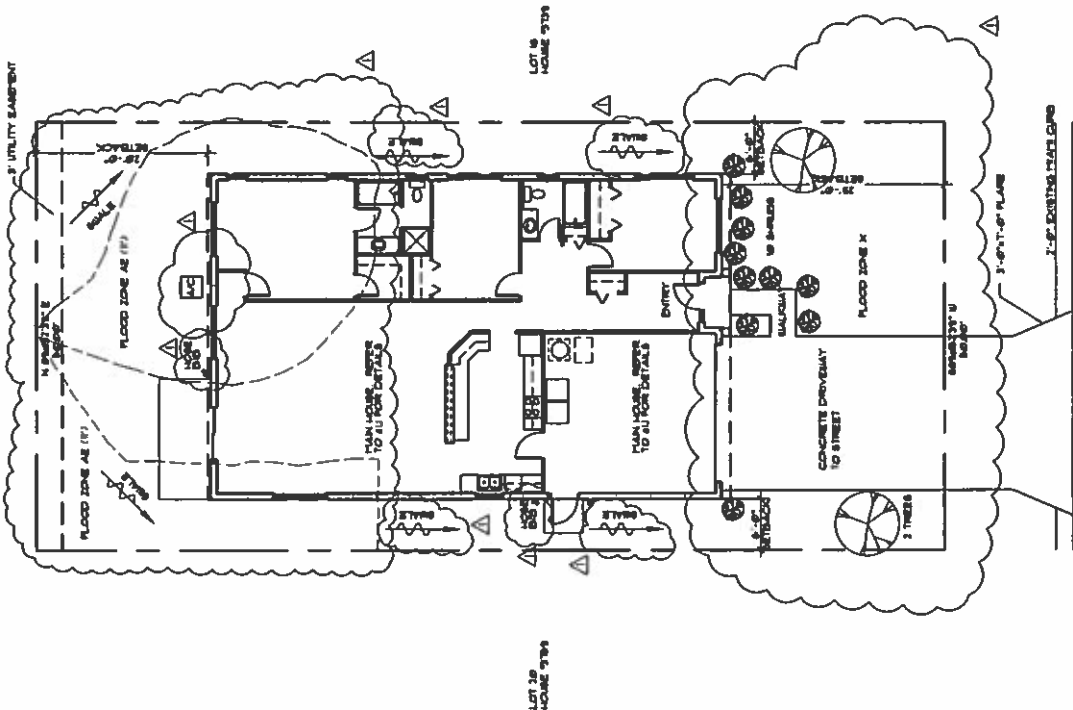


SITE PLAN

SCALE: 1"=10'-0"
THIS PLAN SHALL BE USED IN
CONJUNCTION WITH THE
REQUIREMENTS OF
SECTION 10-20-01.1

29TH AVENUE SOUTH

CENTERLINE OF STREET



a2.1

TICLAD, AMBICO
LIC. NO. JAB001349

Project No.
2005-808
Date
NOV. 28, 2005

Elevations

Revised
02-01-2008
Rev. Name: Freddy-Roldan

St. Petersburg,
New Construction
29th Avenue South
Florida

PRESLEY RESIDENCE

Lic. # AA-0003347
218 8th Ave. N
St. Petersburg, FL 33701
(p) 727-933-6676 (o) 727-689-1054 (f) 727-933-6686
enah.kashio@compuserve.com http://www.kashioarchitects.com

rchitectonics Studio

DOOR/WINDOW PROTECTION:

Chart for details of the Florida Building Code

Fastener Spacing (in.) ^{1,2}	Panel Size			
	1 ft. x 4 ft. Panel	4 ft. x 8 ft. Panel	8 ft. x 8 ft. Panel	8 ft. x 12 ft. Panel
2 1/2" x 8" LAG SCREWS	16"	16"	16"	16"
2 1/2" x 8" LAG SCREWS	16"	16"	16"	16"
2 1/2" x 8" LAG SCREWS	16"	16"	16"	16"

(in.) 1 inch = 25.4 mm

1) This table is based on a minimum wind speed of 150 mph (150 mph) and a 10-minute mean wind speed of 150 mph (150 mph) and a 10-minute mean wind speed of 150 mph (150 mph).

2) Fasteners shall be installed at 4" on center (4" on center) on the wood structural panel.

3) Where wood panel is attached to masonry or concrete, fasteners shall be installed at 4" on center (4" on center) on the wood structural panel.

4) Walls shall be 100 cfm or be 100 cfm double-headed option.

1. CONTRACTOR SHALL INSTALL ANCHORS AROUND ALL NEW EXTERIOR DOORS AND WINDOWS. ANCHORS SHALL BE INSTALLED AT 4" ON CENTER (4" ON CENTER) ON THE WOOD STRUCTURAL PANEL. ANCHORS SHALL BE 1/2" DIA. (1/2" DIA.) AND 12" LONG (12" LONG).

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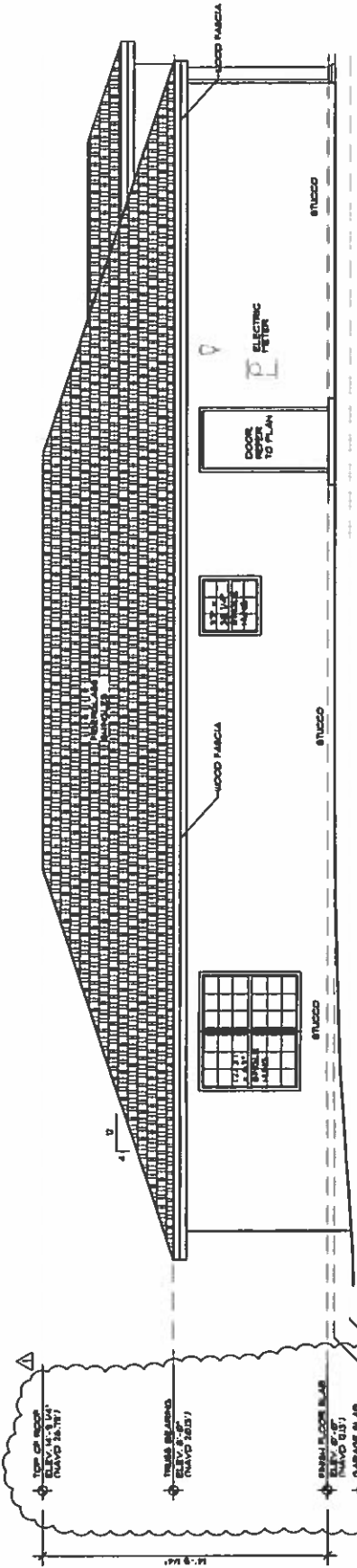
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ELEVATION NOTES:

1. VERIFY WINDOW OPENING DIMENSIONS WITH MANUFACTURER'S SIZES.
2. DOOR AND WINDOW OPENINGS THAT READ 3000, 3600, 4800, ETC. ARE 3'-0" x 3'-0", 3'-0" x 4'-0", 3'-0" x 6'-0", ETC.

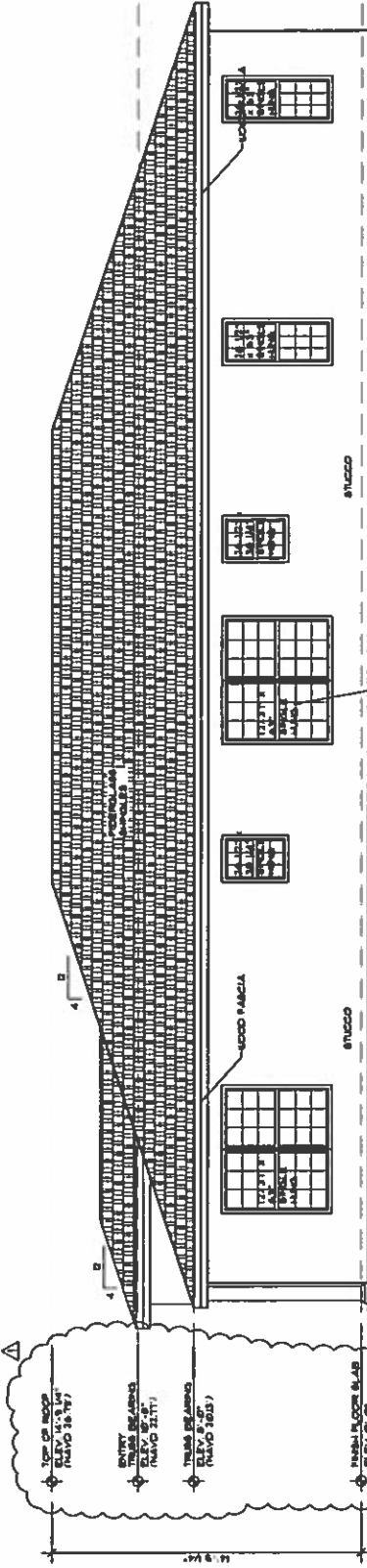
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



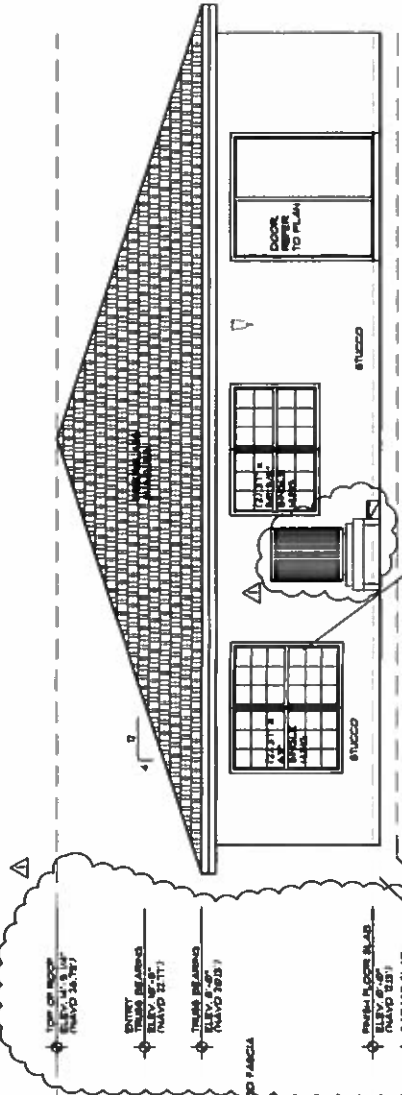
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



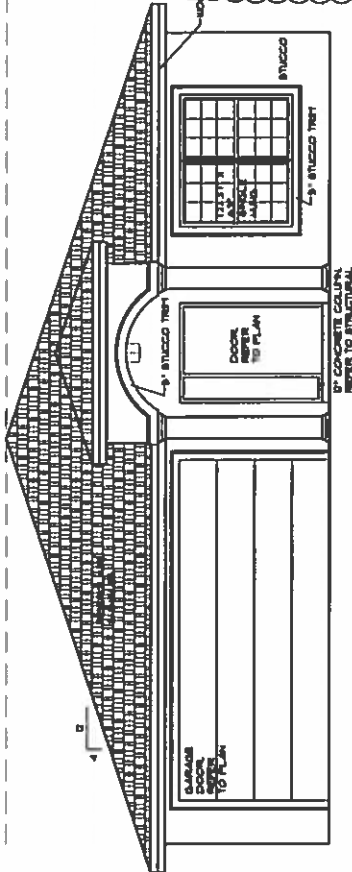
REAR ELEVATION

SCALE: 1/4" = 1'-0"



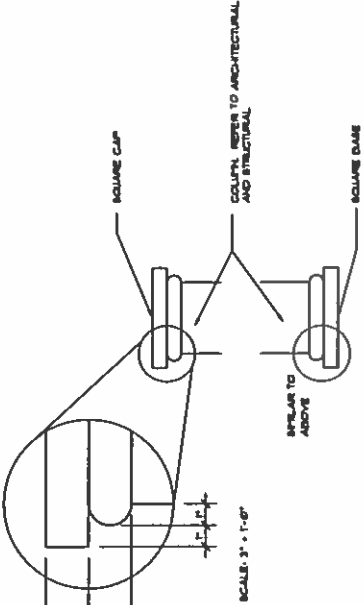
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

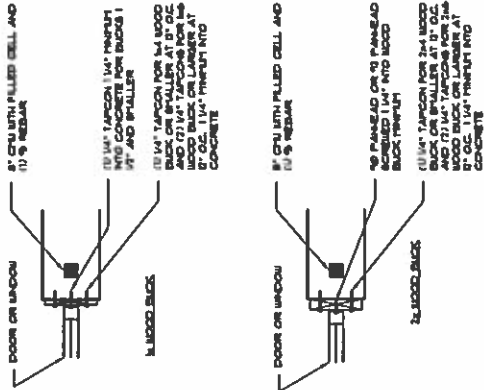


COLUMN DETAIL

SCALE: 1/4" = 1'-0"



DOOR AND WINDOW FASTENING:



NOTES:

1. WHERE WOOD PART OR BRICK IS LESS THAN 1/2\"/>

19-54000033

Code Enforcement Report

Related Cases And Inspection Selection - City of St. Petersburg, Florida

File Edit List Commands Help

SUNGARD PUBLIC SECTOR
NaviLine

Related Cases And Inspection Selection

Property address, location ID: 3759 29TH AVE S

Parcel Identification Nbr: 34/31/16/05526/008/0190/

Old account number:

Number	Status	Date	Insp	Description
19 00018031	CASE CLOSED	7/17/19	CBG	CIVIL CITATION
19 00011556	CASE CLOSED	5/06/19	CBG	CIVIL CITATION
19 00010476	CASE CLOSED	4/24/19	BG	OVERGROWTH
08 00001852	CASE CLOSED	2/05/08	DJ	INOPERATIVE MOTOR VEHICLE
00 00012834	CASE CLOSED	7/05/00	JG	OTHER
00 00011247	CASE CLOSED	7/06/00	SC	OVERGROWTH
00 00009142	CASE CLOSED	5/31/00	JG	INOPERATIVE MOTOR VEHICLE
96 00025456	CASE CLOSED	9/03/96	MB	OVERGROWTH
96 00014444	CASE CLOSED	5/28/96	GD	OVERGROWTH
95 00034270	CASE CLOSED	11/22/95	GD	OVERGROWTH

19-54000033

Code Enforcement Report

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96 00014444	CASE CLOSED	5/28/96	GD	OVERGROWTH
95 00034270	CASE CLOSED	11/22/95	GD	OVERGROWTH

Development Pattern Analysis

Site Address: 3759 29th Avenue South

Zoning: NS-1 Width Required: 75

Area Required: 5800

Case #19-54000033

Revised: 20-Nov-20

Lot Width Analysis

Block	Location	Conforming Width	Substandard Width	% Substandard
Subject Block		6	11	64.71%
Block 2	South	9	6	40.00%
Block 3	Southwest	2	10	83.33%
Block 4	West	3	6	66.67%
Block 5	North	3	18	85.71%
Average		23	51	68.92%

Lot Area Analysis

Block	Location	Conforming Area	Substandard Area	% Substandard
Subject Block		6	11	64.71%
Block 2	South	9	6	40.00%
Block 3	Southwest	2	10	83.33%
Block 4	West	3	6	66.67%
Block 5	North	3	18	85.71%
Average		23	51	68.92%

1 House per Platted Lot Analysis

Block	Location	Vacant Lot	1 House on Lot	More than 1 Lot per house	% 1 House per Platted Lot
Subject Block		1	8	6	53.33%
Block 2	South	1	6	9	37.50%
Block 3	Southwest	7	3	2	25.00%
Block 4	West	2	5	1	62.50%
Block 5	North	0	18	2	90.00%
		11	40	20	56.34%
Average		15.49%	56.34%	28.17%	56.34%